

**CITY OF MAPLE GROVE
PLANNING COMMISSION AGENDA
MARCH 8, 2021
7:00 P.M.**



Due to the COVID-19 pandemic, the Maple Grove Planning Commission is transitioning to an online format for planning commission meetings. Appropriate City of Maple Grove staff and the City Attorney will also be attending online.

For items with a public hearing, comments may be submitted online at <https://forms.maplegrovern.gov/Forms/public-comment> and will be read during the public hearing.

If you desire to speak at the meeting contact Community & Economic Development at 763-494-6040.

1. OPENING BUSINESS

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Oath of Office – Michael Ostaffe

2. ADDITIONS OR DELETIONS TO AGENDA

Any Commissioner who wishes to delete item(s) from the Consent Agenda or add item(s) to the agenda shall move that at this time.

- 3. CONSENT ITEMS** – All matters listed under Consent Items are considered to be routine by the Planning Commission and will be enacted by one motion and in the form listed below. There may be an explanation, but no separate discussion on these items. If discussion is desired, that item will be removed from the Consent Items and will be considered separately.

- A. Minutes - Regular Meeting – February 22, 2021

4. CONSIDERATION OF ITEMS PULLED FROM THE AGENDA

5. UPDATE ON CITY COUNCIL MEETING

6. OLD BUSINESS

No items to present.

7. NEW BUSINESS

- A. **Boston Scientific Building 3 West**
Boston Scientific Corporation
Two Scimed Pl
PUD development stage plan to construct a new building. The project will consist of a new building within the existing parking lot west of building three consisting of approximately 76,000 gsf of manufacturing, future shell space office and mechanical support spaces.

Received 02/08/2021, Brett Angell

B. **Reserve Arbor Lakes Building 4**

Doran Family Development, LLC

Outlot A, Arbor Lakes Parkway and Village Way

PUD development stage plan and final plat. The project will be a 164-unit multi-family market-rate apartment building with two levels of parking and a lower level tunnel connection to the first building.

Received 02/08/2021, Peter Vickerman

8. **ADJOURNMENT** – All items acted on by the Planning Commission will be forwarded to the City Council for action at their next regularly scheduled meeting.

Consent Items

**DRAFT – MAPLE GROVE
PLANNING COMMISSION**

February 22, 2021

CALL TO ORDER

A meeting of the Maple Grove Planning Commission was held at 7:00 p.m. on February 22, 2021 at the Maple Grove City Hall, Hennepin County, Minnesota. Chair Lamothe called the meeting to order at 7:00 p.m.

**PLEDGE OF
ALLEGIANCE**

ROLL CALL

Planning Commission members present were Chair Craig Lamothe, Chris Ayika, Lorie Klein, Susan Lindeman, Chuck Lenthe, and Joe Piket. Present also were Karen Jaeger, City Council Liaison; Peter Vickerman, Planning Manager; Jesse Corrow, Associate Planner; and Scott Landsman, City Attorney.

**ITEMS TO BE
REMOVED FROM
THE AGENDA**

None.

CONSENT ITEMS

The following Consent Items were presented for the Commission's approval:

MINUTES

A. Regular Meeting – January 25, 2021

Motion by Commissioner Lenthe, seconded by Commissioner Klein, to approve the Consent Items as presented. Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

**CONSIDERATION
OF ITEMS PULLED
FROM CONSENT
AGENDA**

None.

**REVIEW OF THE
CITY COUNCIL
MINUTES FROM
THEIR REGULAR**

Mr. Vickerman reviewed with the Commission what items the City Council approved that was given direction at the Planning Commission level. Staff commented further on the housing study that was completed for the City of Maple Grove.

MEETING OF
FEBRUARY 16,
2021

OLD BUSINESS

No items to present.

NEW BUSINESS

PUBLIC HEARING

**EDGEWATER ON
COOK LAKE**

Motion by Commissioner Lindeman, seconded by Commissioner Ayika, to remove this item from the table. Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

**THE EXCELSIOR
GROUP**

Mr. Vickerman stated the applicant is requesting Planned Unit Development (PUD), development stage plan and final plat approval for a 58-lot single-family rental home development. The property received PUD concept stage plan approval on September 8, 2020 and this plan conforms to the approved concept plan. Staff discussed the plans in further detail and made the following recommendation.

**18962 BASS LAKE
ROAD AND 7423
WALNUT GROVE
LANE NORTH**

STAFF RECOMMENDATION:

**PUD
DEVELOPMENT
STAGE PLAN AND
FINAL PLAT TO
CONSTRUCT 58
SINGLE-FAMILY
RENTAL HOMES
AND ONE LOT
FOR A
COMMUNITY
BUILDING**

Motion to recommend that the City Council direct the City Attorney to draft a Resolution and a planned unit development agreement approving the Edgewater on Cook Lake PUD development stage plan and final plat, subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:
 - a. The Community & Economic Development Department dated February 3, 2021
 - b. The Water Resources Engineer dated January 25, 2021
 - c. The Parks & Recreation Department, dated February 4, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

Discussion

Commissioner Klein indicated the 235 overstory trees was in excess of what the City required. She questioned how many existing trees were being removed. Mr. Vickerman explained 235 new trees would be planted. He reported there was an area along the lakeshore where existing trees would remain in place. He stated he did not have a specific number for the trees that would be removed from the property.

Commissioner Klein stated she was pleased to see the developer would be planting a large number of trees within this development.

Commissioner Lenthe asked what the rental rates would be for this development. He inquired if it would be possible to that these units become for-sale in the future. He recommended the developer consider placing a bench or two along the trails. Mr. Vickerman explained each of the rental units would be built on a separate lot. He indicated the developer would have to work through how to make the lots saleable through the agreements put in place. He commented benches would be desirable for this trail and City staff could work to address this matter.

Commissioner Ayika requested further information regarding the trail stating he would like to know which trail was being removed and which trail was staying. Mr. Vickerman discussed the proposed trail location noting it was consistent with the proposed concept plan.

Commissioner Piket questioned if this plan differed from the concept plan. Mr. Vickerman stated the plan was consistent, but included more details regarding landscaping, architecture and grading.

The applicant was at the meeting to answer questions.

Steph Griffin, Excelsior Group representative, thanked the Commission for their consideration. She explained the trail would serve as a great amenity for the residents in this development. She estimated the rental rates would be \$2,500 to \$3,600 per month. She agreed the benches were a great idea and stated she would work with the City on this.

Commissioner Ayika questioned if the rental units would ever be for-sale in the future. Ms. Griffin explained the Excelsior Group

managed residential land development. She reported her company would develop, own and manage these housing units. She noted this development was platted with each unit being on an individual lot. She indicated if units were to go for sale, she anticipated the entire subdivision would be for sale.

Chair Lamothe asked if this was something the Excelsior Group has done in the past. Ms. Griffin commented this was not something that has been done in the past.

Chair Lamothe inquired if anyone from the public would like to speak to this item. Mr. Vickerman reported there were no comments from the public.

Motion by Commissioner Piket, seconded by Commissioner Ayika, to recommend that the City Council direct the City Attorney to draft a Resolution and a planned unit development agreement approving the Edgewater on Cook Lake PUD development stage plan and final plat, subject to:

- 1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:**
 - a. The Community & Economic Development Department dated February 3, 2021**
 - b. The Water Resources Engineer dated January 25, 2021**
 - c. The Parks & Recreation Department, dated February 4, 2021**

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

**PUBLIC HEARING
6248 EAGLE LAKE
DRIVE**

Mr. Corrow stated the applicant is requesting a 2.1-foot variance to the standard 25-foot front yard setback for the purpose of constructing a 2-story addition to their home located at 6248 Eagle Lake Drive. The proposed addition would measure 22 feet wide

JOHN AND
JENNIFER MASON

VARIANCE TO
ENCROACH ON
THE 25-FOOT
FRONT YARD
SETBACK TO
CONSTRUCT AN
ADDITION TO THE
HOME

would extend 12 feet off the front of the home, replacing the location of an existing deck. The lot was platted in 1920 and does not meet the current dimensional requirements of a residential lot. The total lot area of this property is 5,243 S.F., making it one of the smaller lots in the neighborhood. The property slopes significantly towards the front yard and while the front of the home faces Eagle Lake Drive, the property is accessed by a shared alleyway at the rear of the property. Staff discussed the plans in further detail and made the following recommendation.

STAFF RECOMMENDATION:

Motion to recommend that the City Council direct the City Attorney to draft a Resolution approving the 6248 Eagle Lake Drive variance, subject to:

1. The applicant addressing to the satisfaction of the city any remaining applicable comments contained in the memorandum from:
 - a. The Water Resources Engineer dated January 28, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

Discussion

Commissioner Lindeman discussed the impervious surface requirements and stated she understood the applicant would be staying at the same percentage of coverage. Mr. Corrow reported this was the case. He indicated the City worked to have smaller non-conforming lots maintaining where they were at.

The applicant was at the meeting to answer questions.

John Mason, 6248 Eagle Lake Drive, thanked the Commission for hearing his request. He explained he was hoping to put an addition onto his house to add living space for his family.

Chair Lamothe opened the public hearing at 7:31 p.m.

The public was asked by Chair Lamothe if they had any comments to make regarding this application.

No one wished to address the Commission.

Motion by Chair Lamothe, seconded by Commissioner Klein, to close the public hearing at 7:32 p.m. Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

Motion by Commissioner Klein, seconded by Commissioner Lenthe, to recommend that the City Council direct the City Attorney to draft a Resolution approving the 6248 Eagle Lake Drive variance, subject to:

- 1. The applicant addressing to the satisfaction of the city any remaining applicable comments contained in the memorandum from:**
 - a. The Water Resources Engineer dated January 28, 2021**

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

**PUBLIC HEARING
AVERY PARK
AVERY PARK, LLC
9533 JEFFERSON
HIGHWAY
PUD RESIDENTIAL
DEVELOPMENT
STAGE PLAN AND**

Mr. Vickerman stated the applicant is requesting PUD development stage plan and rezoning approval for 82 attached townhomes and 42 detached single-family homes. This project received concept approval for 77 townhomes and 42 single family homes. They were able to add an additional townhome unit onto five of the buildings on the east side of the site. The plan is almost identical to the approved concept plan with the single family detached homes on the west side of the site and the townhomes on the east side of the site. They are now including a small dog park near one of the storm ponds. Staff discussed the plans in further detail and made the following recommendation.

STAFF RECOMMENDATION:

REZONING TO
CONSTRUCT 82
ATTACHED
TOWNHOMES
AND 42
DETACHED
SINGLE-FAMILY
HOMES

Motion to recommend that the City Council direct the City Attorney to draft a Resolution approving the Avery Residential PUD development stage plan subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:
 - a. The Community & Economic Development Department dated February 17, 2021
 - b. The Water Resources Engineer dated February 9, 2021
 - c. The Parks & Recreation Department dated January 26, 2021

Motion to recommend the City Council direct staff to draft an Ordinance rezoning property from R-A, Single Family Agricultural to R2 PUD Single Family Residential (Planned Unit Development) and R4 PUD, Medium Density Residential District (Planned Unit Development), subject to the approval of the final plat.

Discussion

Commissioner Piket asked if the concerns of the neighbors had been addressed. Mr. Vickerman reported the main concern was the road connection at Nathan Lane and this had been addressed. He explained the single-family homes would be adjacent to the existing single-family homes and the townhomes would be off to the east side.

The applicant was at the meeting to answer questions.

Nathan Fair, Avery Park representative, thanked staff for the thorough staff report. He also thanked the Planning Commission for their consideration.

Chair Lamothe stated he was happy to see the applicant had addressed the concerns that were raised by the neighbors.

Chair Lamothe opened the public hearing at 7:39 p.m.

The public was asked by Chair Lamothe if they had any comments to make regarding this application.

No one wished to address the Commission.

Motion by Chair Lamothe, seconded by Commissioner Lenthe, to close the public hearing at 7:40 p.m. Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

Motion by Commissioner Lindeman, seconded by Commissioner Ayika, to recommend that the City Council direct the City Attorney to draft a Resolution approving the Avery Residential PUD development stage plan subject to:

- 1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:**
 - a. The Community & Economic Development Department dated February 17, 2021**
 - b. The Water Resources Engineer dated February 9, 2021**
 - c. The Parks & Recreation Department dated January 26, 2021**

Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

Motion by Commissioner Piket, seconded by Commissioner Lindeman, to recommend the City Council direct staff to draft an Ordinance rezoning property from R-A, Single Family Agricultural to R2 PUD Single Family Residential (Planned Unit Development) and R4 PUD, Medium Density Residential District (Planned Unit Development), subject to the approval of the final plat. Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

DISCUSSION ITEMS

There were no discussion items.

ADJOURNMENT

Motion by Commissioner Piket, seconded by Commissioner Lenthe, to adjourn the Planning Commission meeting. Upon call of the motion by Chair Lamothe, there were six ayes and no nays. Motion carried.

Chair Lamothe adjourned the meeting at 7:43 p.m. to the next

regularly scheduled meeting of the Planning Commission
scheduled for March 8, 2021.

New Business

STAFF REPORT TO THE PLANNING COMMISSION

March 8, 2021

**Boston Scientific Building 3 West
Planned Unit Development - Development Stage Plan**

Applicant: Boston Scientific Corporation
Brendan Collins
1 Scimed Pl
Maple Grove, MN 55311

Owner: Same

Requested Action: PUD development stage plan to construct a new building. The project will consist of a new building within the existing parking lot west of building three consisting of approximately 76,000 gsf of manufacturing, future shell space office and mechanical support spaces.

Location: Two Scimed Pl

Zoning: FF, Freeway Frontage

**Adjacent Land
Use and Zoning:**

North: FF, Freeway Frontage
East: FF, Freeway Frontage
South: PUD, Planned Unit Development
West: R2B, Single Family Residential

Application Received:	February 8, 2021
60 Day Review Deadline:	April 9, 2021

STAFF COMMENTS:

Boston Scientific is seeking Planned Unit Development (PUD) development stage plan approval to construct a new building of approximately 76,000 square feet of production space. The proposed addition would be constructed directly to the west of existing building #3 and would be connected via skyway to the other buildings within the overall campus. The building would be constructed in what is currently surface parking area. The request for this development stage plan for the new building coincides with the parking lot expansion that Boston Scientific was

approved of in 2020. The applicant has expressed the need for the expansion is due to a current limited availability of available production space within the campus. The product that would be manufactured in this space is currently being produced in building number 2 and will be relocated to this space allowing for more spacing of equipment, materials, and to free up the existing production space that is used for future new product creation.

Proposed Building Information

The proposed 75,866 square foot building would be structured as a 2-story facility with a penthouse. The first floor of the facility would be 48,094 square feet and would be dedicated to production and support space. The second floor would be a total of 22,933 square feet and would be initially build as shell space for future office with additional support space. The penthouse would be a total of 4,861 square feet. The total height of the proposed building would be approximately 53 feet, including the penthouse. An access road would separate the proposed building from existing building #3 for fire access.

Landscaping

Due to the proposed building being constructed in what is primarily current surface parking area, impacts to existing landscaping will be minimal. The proposed demolition plan shows some of the vegetation and trees on the west side of existing building #3 being removed. The provided planting plan details plantings of coniferous and deciduous trees as well as shrubs, grass and native plantings around the proposed building. Many of the proposed trees would be placed near the loading dock area to provide additional screening. Additional landscaping features or details for the broader overall site have not been provided as part of this application.

Architecture

The proposed building's façade would utilize a combination of brick veneer, architectural precast panels, and metal/aluminum panels and fins. Aluminum curtain wall glazing (windows) is included on both floors. The material/loading dock area located on the exterior of the north side of the facility would have a metal mesh screening to minimize any visual impacts of the equipment/materials from adjacent properties.

Traffic Impacts

It is not anticipated that the construction of this new building will have a negative impact on traffic volumes at or surrounding the development. The product which would be manufactured within the proposed new space is currently produced in building #2 and would relocate into the new facility. As a result of the production just moving locations within the campus, Boston Scientific does not anticipate an increase in employment. The previous space in building two will continue to be used in the future as production space as needed for new products. The employees for the production areas of Boston Scientific are on staggered shifts in an effort to minimize

Staff Report to the Planning Commission
Brett Angell, Project Manager- X6003
Boston Scientific Building 3 West
PUD Development Stage Plan
March 8, 2021
Page 3

potential traffic concerns.

Additionally, the pandemic has had an impact on the overall traffic and employment at the facility. As of now, all the employees which work an office job are currently working from home. A direct full re-opening plan has not yet been shared but it is anticipated that many office workers from the facility will continue to work from home at a minimum a few days a week well into the foreseeable future.

Parking Lot Changes

The proposed new building is proposed to be built directly in the area of parking lot 2 of the Boston Scientific campus. However, this development proposal coincides with the parking lot expansion plan that was approved in 2020. Including the proposed new building and parking lot expansion/restructuring, the total number of parking spaces at the campus will see a net increase of 388 spaces. The total number of spaces within the campus will be 3,241, which includes 52 ADA spaces.

Utilities

The property is currently already served by city sewer and water. However, the existing sanitary sewer pipe for the site is currently at or near capacity. The applicant is working directly with the city's engineering department to re-route the sanitary pipe and upgrade the line to serve this proposal as well as any future additions.

Lot Combination

Concurrent to the PUD development stage plan request, the applicant will be seeking final plat approval to re-plat the property into one lot per recommendation by city staff.

Neighborhood Outreach

As part of this proposal, Boston Scientific has reached out to adjacent and surrounding residential properties to inform them of the proposal. Direct mail regarding the proposal was sent to neighbors with information on the proposed building and who to contact with questions or concerns.

STAFF RECOMMENDATION:

Motion to recommend that the City Council direct the City Attorney to draft a Resolution and a Planned Unit Development Agreement approving the Boston Scientific Building 3 West PUD development stage plan, subject to:

Staff Report to the Planning Commission
Brett Angell, Project Manager- X6003
Boston Scientific Building 3 West
PUD Development Stage Plan
March 8, 2021
Page 4

1. The applicant addressing to the satisfaction of the city any remaining applicable comments contained in the memorandums from:
 - a. The Community & Economic Development Department dated February 23, 2021
 - b. The Engineering Department dated February 22, 2021
 - c. The Fire Department dated February 23, 2021
 - d. The Arbor Committee, dated March 2, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

ATTACHMENTS:

Attachment A: Narrative
Attachment B: Location Map
Attachment C: Maps
Attachment D: Architectural Renderings
Attachment E: Landscape Plans
Attachment F: Memorandums

Boston Scientific
Weaver Lake Road Building 3 West Expansion
PUD Application February 8, 2021

Legal Description

Scimed Corporate Business Campus 2nd Lot 002 Block 002

Project Background

The Boston Scientific Maple Grove Campus consists of a series of three existing buildings and associated surface parking lots. This project is a new construction building located directly West of building WL3, a fourth building on the campus. A new parking structure has been master planned but is still pending future growth needs of Boston Scientific's employee population. The proposed building is an expansion of an existing product line and has a minimal impact on the number of employees on campus and number of car trips to the campus.

In conjunction with this project Boston Scientific is working to complete a lot combination process for their full campus to remove all internal property lines. This process will be submitted separately.

Project Narrative

The project consists of the construction of a new building to the West of Building three located on the campus in Maple Grove, Minnesota. The project will consist of a new building constructed within the existing parking lot west of Building three consisting of approximately 76,000 gsf of manufacturing, future shell space office and mechanical support spaces.

The manufacturing space on the 1st floor will accommodate the expansion of the NSM facility. The processes for the expansion space for NSM are Blasting, Electro-polishing, Swaging and Dimensional Inspection. The expansion for manufacturing will require additional internal Support Spaces like the existing ones currently supporting NSM:

- H4 Corrosive Storage room
- H2 Flammable Storage/dispensing room
- Loading dock with 3 dock doors, trash and recycling compactor and a dust collection system
 - All located on the North side of the building.
- Electrical Room and new service to support this growth on both floors (located in WL3)
- New Neutralization, DI water and Compressor Room
- New Mechanical Room
- Exterior Tank Farm on North side of building adjacent to the loading docks

The office area, which will be planned as shell space for day 1, will be designed to latest global design guidelines will accommodate will create additional capacity for future administration use which should include break out spaces, huddle rooms, private offices and restrooms.

Building 3 west will also require a new skyway linking Building 3 West with Building 3.

Building Program

<u>First Floor</u>	<u>48,094 gsf</u>
Production	18,000
Employee Support	9,483
MEP Support	20,610
<u>Second Floor</u>	<u>22,933 gsf</u>
Future Office Shell	19,980
MEP Support	5,953
<u>Penthouse</u>	<u>4,861 gsf</u>
<u>Total GSF</u>	<u>75,866 gsf</u>

Consultant ListArchitect, Landscape Architect, Civil, Mechanical, Electrical and Structural Engineer

Hammel Green and Abrahamson, Inc
420 North 5th Street, Suite 100
Minneapolis, MN 55401

Surveyor

Sunde
9001 East Bloomington Freeway, Suite 118
Bloomington, MN 55420

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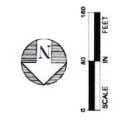
Attachment C

HGA
420 North 10th Street, Suite 100
Minneapolis, Minnesota 55401
612.224.4400
hga@hga.com

Boston Scientific
Advancing science for life
WL3 WEST
ADDITION
BOSTON SCIENTIFIC
CORPORATION
TWIN CITIES
MARLE GROVE, MN 55111

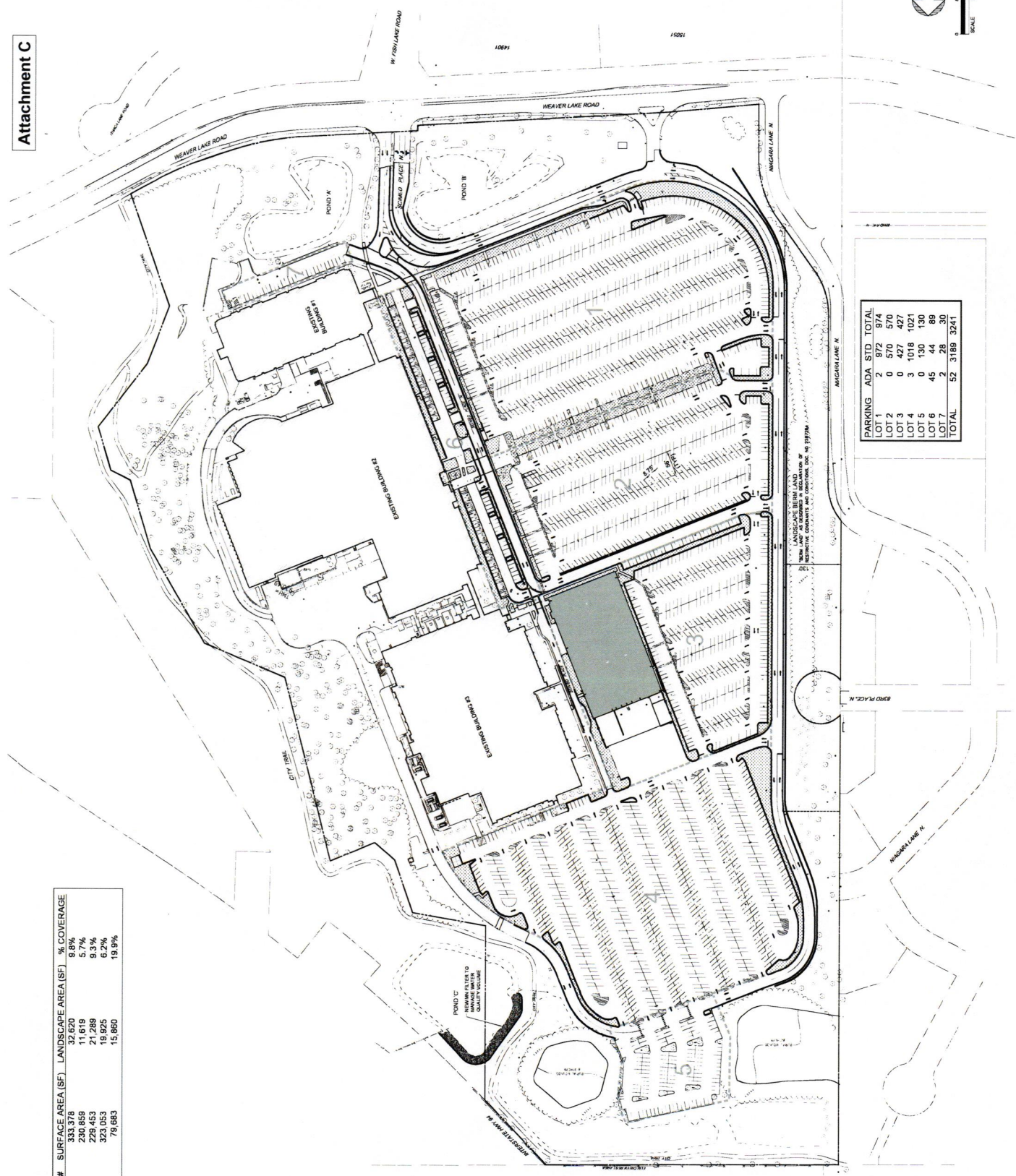
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FOR INFORMATION ONLY

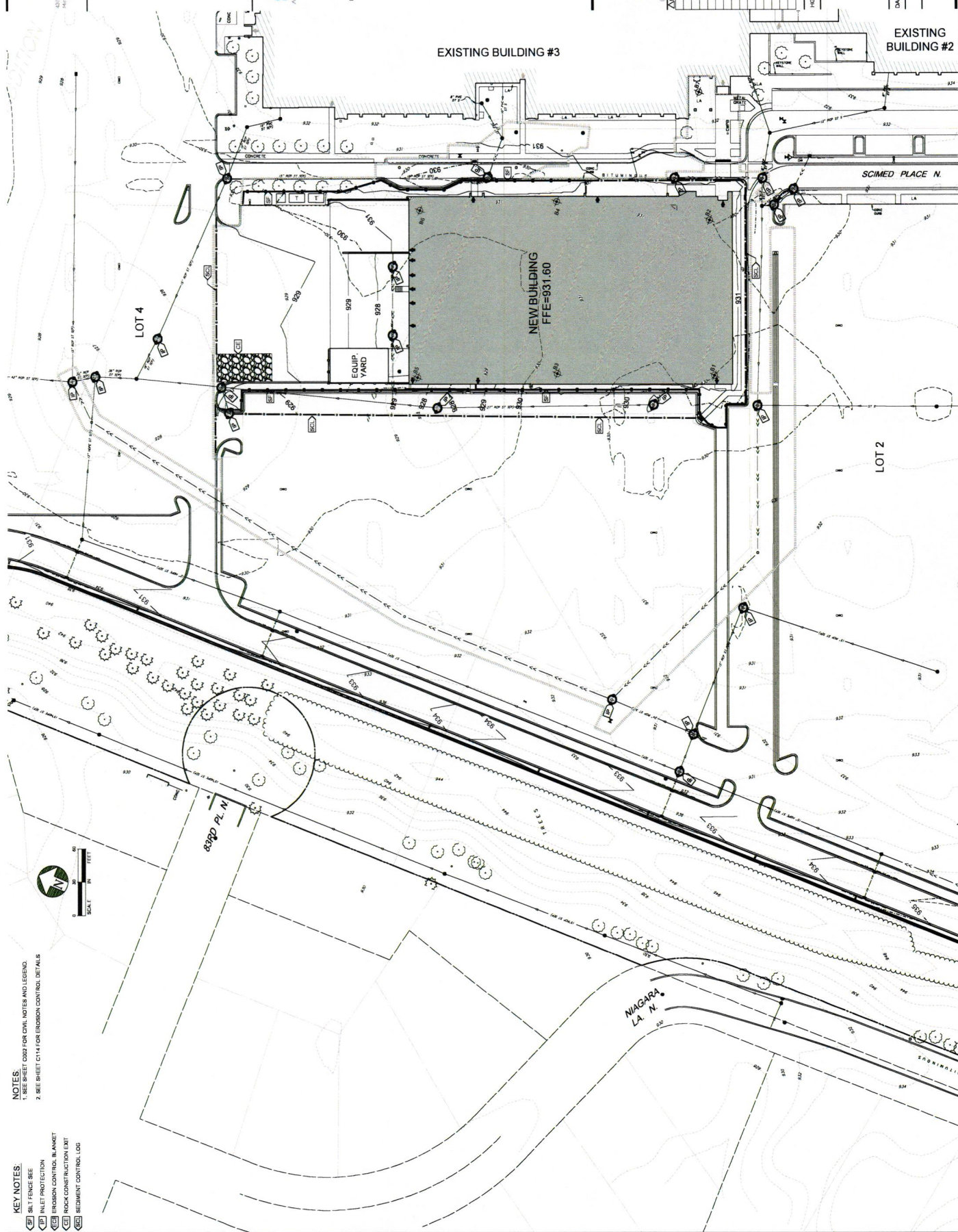
DESIGN DEVELOPMENT
PROJECT
SITE PLAN
DATE February 8, 2021
PLOT REVIEW
C025
COPYRIGHT: HANSELL, GIBNEY AND ASSOCIATES, P.C.



LOT #	SURFACE AREA (SF)	LANDSCAPE AREA (SF)	% COVERAGE
1	333,378	32,620	9.8%
2	230,859	11,619	5.1%
3	229,453	11,286	4.9%
4	229,453	11,286	4.9%
7	79,683	15,860	19.9%

PARKING	ADA	STD	TOTAL
LOT 1	0	572	572
LOT 2	0	570	570
LOT 3	0	427	427
LOT 4	3	1018	1021
LOT 5	0	130	130
LOT 6	45	44	89
LOT 7	2	28	30
TOTAL	52	3189	3241





NOTES:
1. SEE SHEET C002 FOR CIVIL NOTES AND LEGEND.
2. SEE SHEET C114 FOR EROSION CONTROL DETAILS

KEY NOTES:

- SF** SILT FENCE SEE
- IP** INLET PROTECTION
- ECB** EROSION CONTROL BLANKET
- CE** ROCK CONSTRUCTION EXIT
- SCI** SEGMENT CONTROL LOG

HGA

100 State Street, Suite 200
Boston, MA 02109
Telephone 617.552.5500

Boston Scientific
Advancing science for life™
WL3 WEST ADDITION
BOSTON SCIENTIFIC
TWO SCIMED PLACE
MAPLE GROVE, MA 02511

NOT FOR CONSTRUCTION
FOR INFORMATION ONLY

NO.	DESCRIPTION	DATE
1	100' X 100' X 100'	
2	100' X 100' X 100'	
3	100' X 100' X 100'	
4	100' X 100' X 100'	
5	100' X 100' X 100'	
6	100' X 100' X 100'	
7	100' X 100' X 100'	
8	100' X 100' X 100'	
9	100' X 100' X 100'	
10	100' X 100' X 100'	
11	100' X 100' X 100'	

HGA NO. 3002-088-02
DATE: February 8, 2021
PUD REVIEW

C210
SITE DEMOLITION PLAN

EXISTING BUILDING #2

EXISTING BUILDING #3

SCIMED PLACE N.

LOT 2

LOT 4

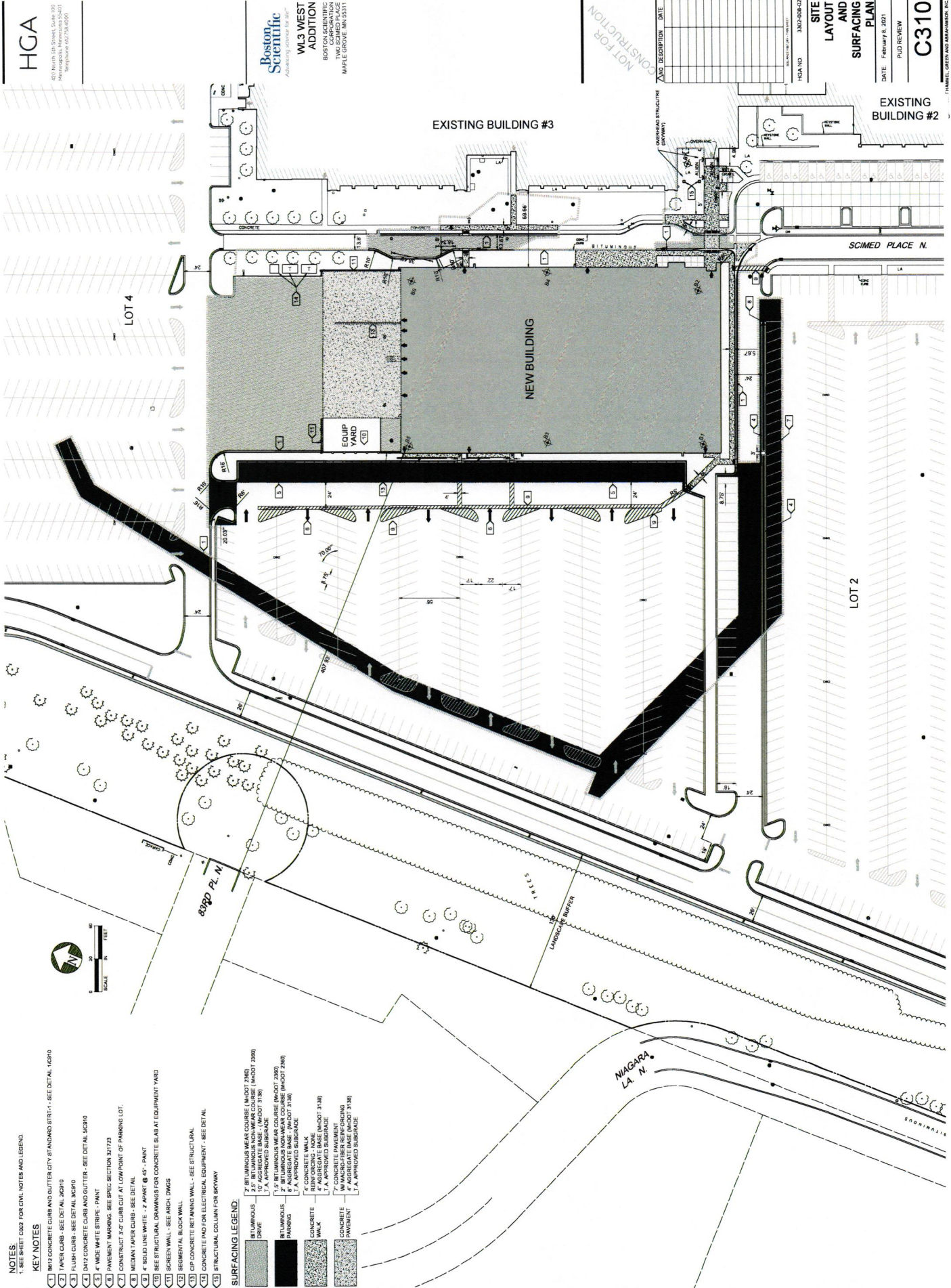


NOTES:
1. SEE SHEET C207 FOR CIVIL NOTES AND LEGEND.

KEY NOTES

- (1) PROTECT EXISTING FEATURE
- (2) SAMCUT PAVEMENT
- (3) SALVAGE SIGN AND RETURN TO OWNER
- (4) REMOVE PIPE
- (5) REMOVE MANHOLE OR CATCH BASIN
- (6) REMOVE MOLLARD LIGHT
- (7) ABANDON PIPE AND FILL WITH FLOWABLE FILL
- (8) REMOVE LIGHT POLE AND FOUNDATION
- (9) SALVAGE SIGN AND RETURN TO OWNER
- (10)
- (11)

NIAGARA LA IV



NOTES:
1. SEE SHEET C002 FOR CIVIL NOTES AND LEGEND.

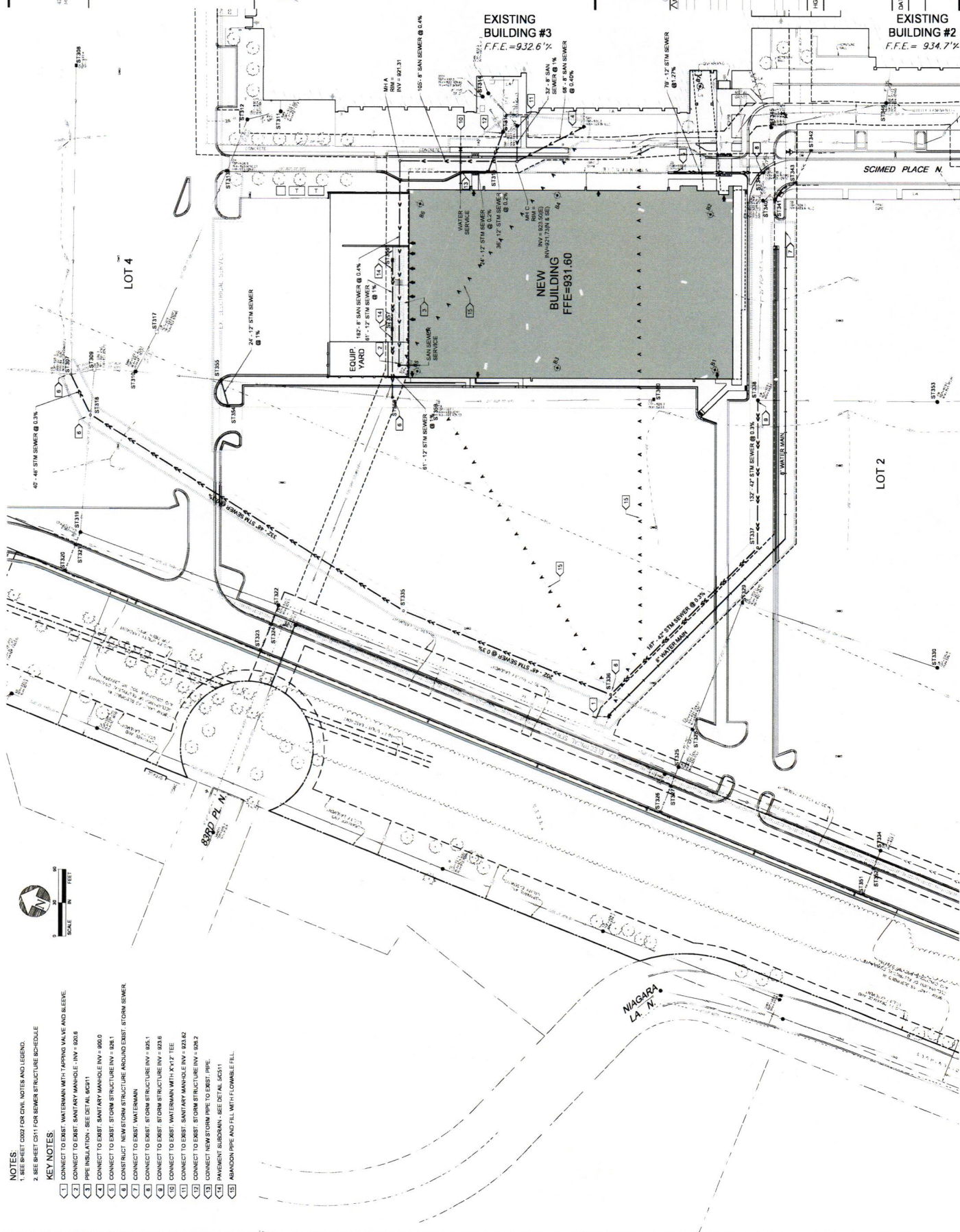
KEY NOTES

KEY NOTES

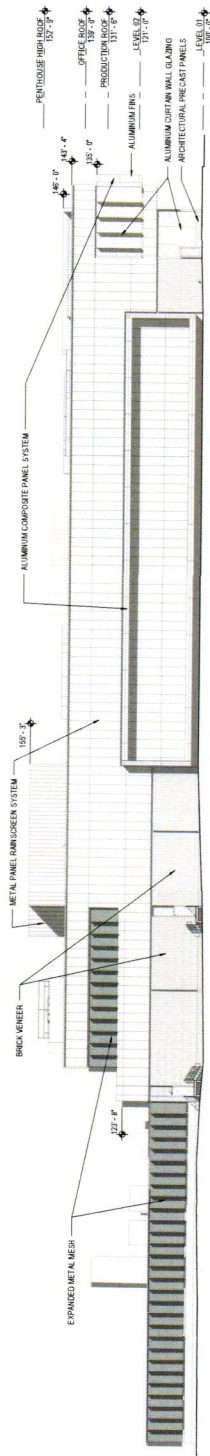
10	10412	CONCRETE CURB AND GUTTER CITY SIDE AND ROAD STR-1	- SEE DETAIL SC90
11	10413	PAVER CURB - SEE DETAIL SC91	
12	10414	FLUSH CURB - SEE DETAIL SC91	
13	10415	DA12 CONCRETE CURB AND GUTTER - SEE DETAIL SC91	
14	10416	4" MAX WHITE STRIPS - PAINT	
15	10417	PAVEMENT MARKING - SEE SPEC SECTION 317.03	
16	10418	CONSTRUCT 3/4" CURB CUT AT CORNER OF PARKING LOT	
17	10419	4" MEDIUM PAVER CURB - SEE DETAIL	
18	10420	4" SOLID LINE WHITE - 7" PAINT @ 45° - PAINT	
19	10421	SEE STRUCTURAL DRAWINGS FOR CONCRETE B.A.B AT EQUIPMENT YARD	
20	10422	11" SCREEN WALL - SEE ARCH. DWGS	
21	10423	SEGMENTAL BLOCK WALL	
22	10424	CP CONCRETE RETAINING WALL - SEE STRUCTURAL	
23	10425	CONCRETE PAD FOR ELECTRICAL EQUIPMENT - SEE DETAIL	
24	10426	13" STRUCTURAL COLUMN FOR SIDEWALK	

SURFACING LEGEND:

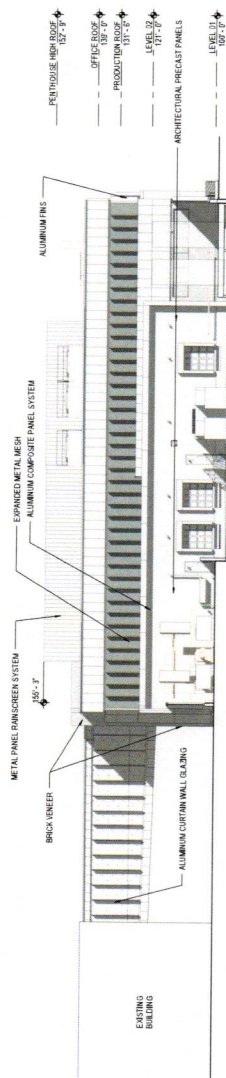
1. BITUMINOUS SURFACE	1. BITUMINOUS WEAR COURSE (MODOT 2360)	1. BITUMINOUS WEAR COURSE (MODOT 2360)
2. BITUMINOUS NON-WEAR COURSE	2. BITUMINOUS NON-WEAR COURSE (MODOT 3138)	2. BITUMINOUS NON-WEAR COURSE (MODOT 3138)
3. APPROVED SURGRADE	3. APPROVED SURGRADE	3. APPROVED SURGRADE
4. BITUMINOUS PAVING	1. BITUMINOUS WEAR COURSE (MODOT 2360)	1. BITUMINOUS WEAR COURSE (MODOT 2360)
5. CONCRETE	2. BITUMINOUS NON-WEAR COURSE (MODOT 3138)	2. BITUMINOUS NON-WEAR COURSE (MODOT 3138)
6. CONCRETE WALK	1. APPROVED SURGRADE	1. APPROVED SURGRADE
7. CONCRETE PAVEMENT	4. CONCRETE WALK	4. CONCRETE WALK
	REINFORCING - NONE	REINFORCING - NONE
	1. APPROVED SURGRADE	1. APPROVED SURGRADE
	7. CONCRETE PAVEMENT	7. CONCRETE PAVEMENT
	W MACRO-FIBER REINFORCING	W MACRO-FIBER REINFORCING
	1. APPROVED SURGRADE	1. APPROVED SURGRADE



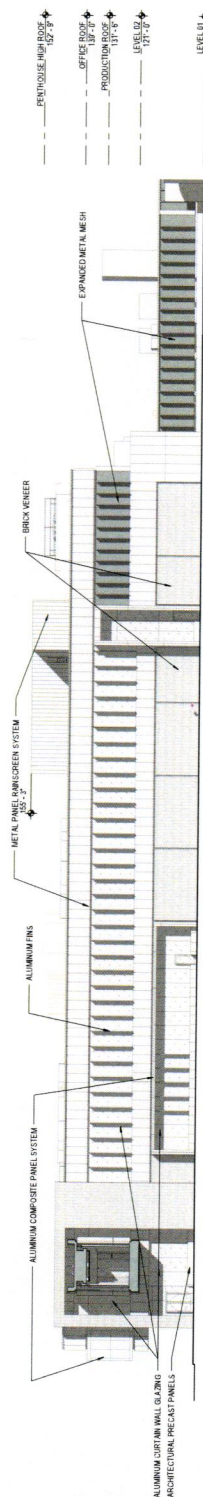
- [illegible]



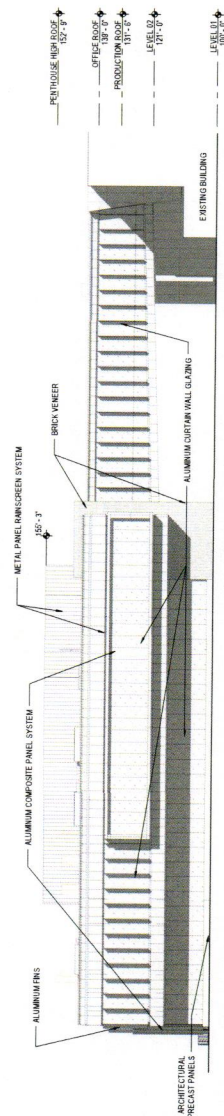
4 OVERALL WEST ELEVATION
1/16" = 1'-0"



3 OVERALL NORTH ELEVATION
 $1/16" = 1'-0"$



2 OVERALL EAST ELEVATION
1/16" = 1'-0"



1 OVERALL SOUTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

A. ELEVATIONS OF EXISTING FLOORS ARE BASED ON SURVEY INFORMATION AND/OR AS-BUILT DRAWINGS PROVIDED BY THE OWNER. THE SURVEY DATA MAY NOT BE COMPLETE AND THE ACTUAL EXISTING ELEVATIONS MAY VARY IN DIFFERENT PORTIONS OF THE EXISTING BUILDING. ALL INFORMATION MUST BE FIELD VERIFIED AND COORDINATED BETWEEN NEW AND EXISTING CONSTRUCTION TO PROVIDE MATCHING FLOOR ELEVATIONS WHERE REQUIRED.

B. SEE CURTAIN WALL AND LOUVER TYPES SHEETS A450 AND A460 FOR TYPES AND SIZES.

NOT FOR INSTRUCTION

Attachment E

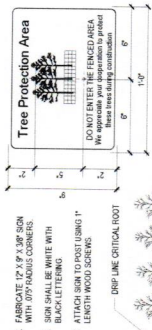
- PRUNING AND PROCEDURES: THE BRANCH AT POINT A
2. CUT COMPLETELY THROUGH BRANCH FROM POINT B TO A
3. AT BRANCH COLLAR CUT FROM POINT C TO D
ONE SIDE OF BRANCH CONTINUOUS CALLUS FORMATION AFTER
CUTTING OUT FROM POINT C TO D (DO NOT CLOSE) WILL
CORRECT CUT FROM POINT C TO D TO LEAVE BRANCH
COLLAR BUT NOT THE STUB FROM POINT B TO A. A SMALL
CUT IN CONTINUOUS DOWN SHARPED CALLUS
FORMATION WILL BE SEEN AT BRANCH COLLAR.

BRANCHES PRUNED AT TRUNK
(SHOULDER METHOD)

- PRUNING NOTES:
1. PRUNE USING CLEAN AND SHARP LASSOR TYPE
OF EARLY SPRING
2. THE BEST TIME TO PRUNE IS LATE DOMINANT SEASON
3. PRUNING IS NECESSARY OR IF WOUNDS OCCUR TO
THE TRUNK, BRANCH COLLAR OR JOINTS OF JOINTS
IMMEDIATELY PAINT CUT SURFACE OF WOUND WITH
LATE PAINT OR SHELLAC

CORRECT PRUNING OUT CLOSURE
LIVE BUD TYPE

BRANCHES PRUNED TO LIVE BUD

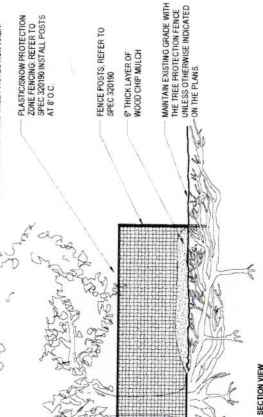
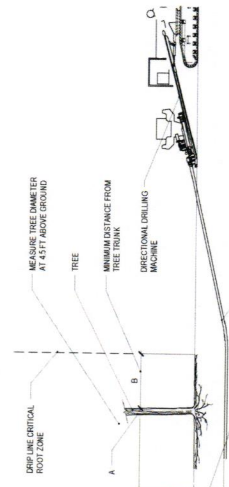
3 TREE PROTECTION PRUNING
3/8" x 1/2"

1. FABRICATE 12" x 36" x 3/8" SIGN
WITH 3/8" RADIUS CORNERS
2. SIGN SHALL BE WHITE WITH
BLACK LETTERING
3. ATTACH SIGN TO POST USING 1"
LENGTH WOOD SCREW
DRIPLINE CRITICAL ROOT
DO NOT ENTER THE PROTECTED AREA
WHEN TREE BEING CONSTRUCTED

1. FINISH AND INSTALL PLASTIC PROTECTION ZONE FENCE AT THE TREE
DRIPLINE OR CONSTRUCTION LIMITS AS SPECIFIED PRIOR TO CONSTRUCTION. REFER TO
SPEC 30010
2. WHEN POSSIBLE PLACE FENCE 24 FEET BEYOND THE DRIPLINE
3. PLACE TREE PROTECTION SIGNS ALONG FENCE AT 50' INTERVALS

6 TREE PROTECTION: TEMPORARY FENCE AND SIGNS
3/8" x 1/2"

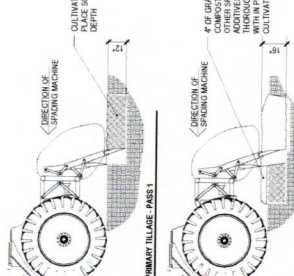
- NOTES:
1. REFER TO SPEC 30010 FOR ADDITIONAL TREE
PROTECTION REQUIREMENTS
2. IF THERE IS NO EXISTING BRIGATION, SEE
SPECIFICATIONS FOR WATERING REQUIREMENTS
3. NO PRUNING SHALL BE PERFORMED EXCEPT BY
APPROVED ARBORIST. REFER TO SPEC 30043
4. NO EQUIPMENT SHALL OPERATE INSIDE THE
PROTECTION AREA DURING INSTALLATION AND REMOVAL
5. SEE SITE PREPARATION PLAN FOR ANY
MODIFICATIONS WITH THE TREE PROTECTION AREA

10 TREE PROTECTION
3/8" x 1/2"

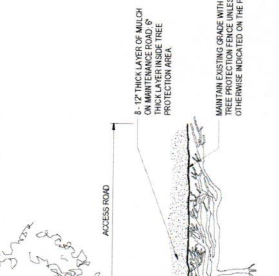
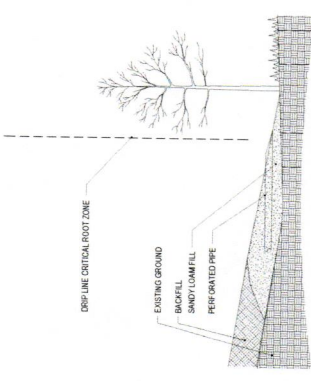
A	B	C
< 2'	2'	2'
2' - 4'	4'	2 1/2'
> 4' - 9'	6'	2 1/2'
> 9' - 14'	10'	3'
> 14' - 19'	12'	3 1/2'
> 19'	15'	4'

2 TREE PROTECTION: UTILITY CONSTRUCTION
1/8" x 1/2"

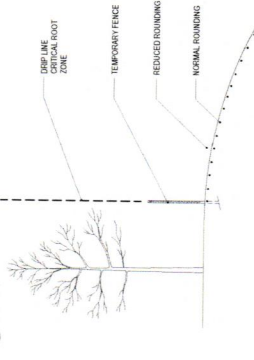
1. AS THE DIAMETER OF THE TREE MEASURED 4 FEET ABOVE THE GROUND
AND 1/2" TOLERANCE THE DIAMETER AS MEASURED 4 FEET ABOVE THE GROUND
2. USING A TREE DIAMETER TAPE, MEASURE THE DIAMETER OF THE GIRTH OF
THE TREE AT THE DBH, BEING CAREFUL NOT TO TWIST THE TAPE

5 SOIL COMPACTION REMEDIATION
1/8" x 1/2"

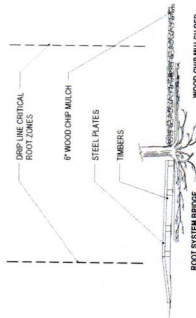
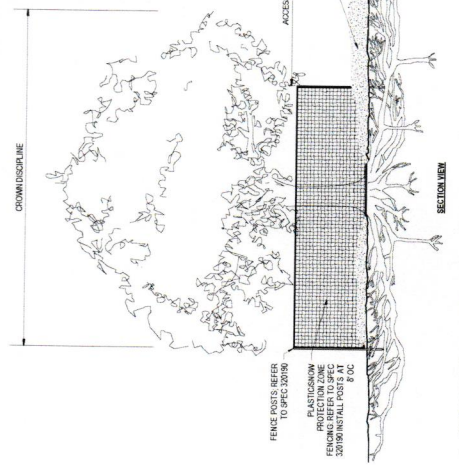
- NOTES:
1. REFER TO SPEC 30010 FOR ADDITIONAL TREE
PROTECTION REQUIREMENTS
2. IF THERE IS NO EXISTING BRIGATION, SEE
SPECIFICATIONS FOR WATERING REQUIREMENTS
3. NO PRUNING SHALL BE PERFORMED EXCEPT BY
APPROVED ARBORIST. REFER TO SPEC 30043
4. NO EQUIPMENT SHALL OPERATE INSIDE THE
PROTECTION AREA DURING INSTALLATION AND REMOVAL
5. SEE SITE PREPARATION PLAN FOR ANY
MODIFICATIONS WITH THE TREE PROTECTION AREA

9 TREE PROTECTION: ACCESS ROAD
3/8" x 1/2"

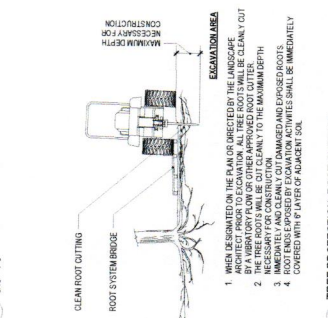
1. ANY FILL REQUIRED IN THE DRIPLINE OF TREES, UNCOMPACTED SANDY (LOAM
TOPSOIL WITH COARSE SAND COMPONENT)
2. EXCESSIVE FILL MAY REQUIRE INSTALLING PERFORATED PIPE WITH AT LEAST ONE
DAYLIGHT OPENING AS AN AERATION SYSTEM

1 TREE PROTECTION: SOIL FILL OVER ROOTS
3/8" x 1/2"

- SIGNIFICANT TREES NEAR THE PROPOSED CONSTRUCTION LIMITS WILL BE IDENTIFIED
BY THE LANDSCAPE ARCHITECT AND WILL BE PRESERVED BY THE
CONTRACTOR
1. PLACE THE TEMPORARY FENCE
2. REDUCE SLOPE ROUNDOFF WHERE ROOT ZONES ARE DISTURBED BY NORMAL SLOPE
3. VARY BACKSLOPE STEEPNESS TO AVOID TREE LOSS OR UNNECESSARY ROOT
DAMAGE

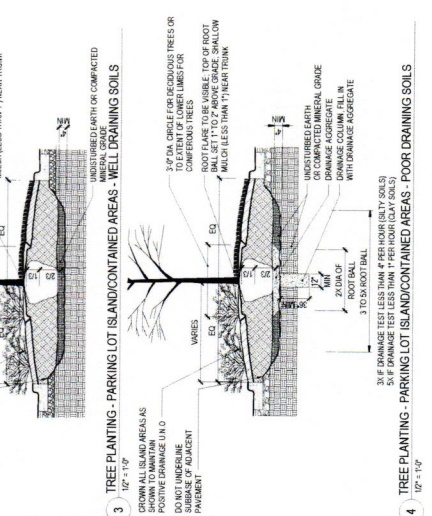
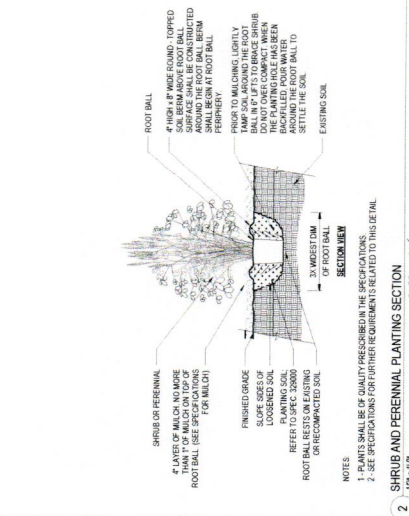
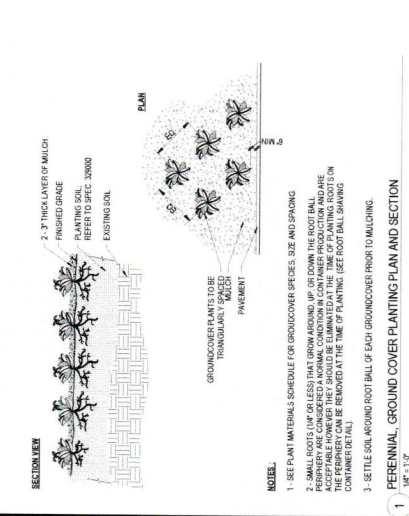
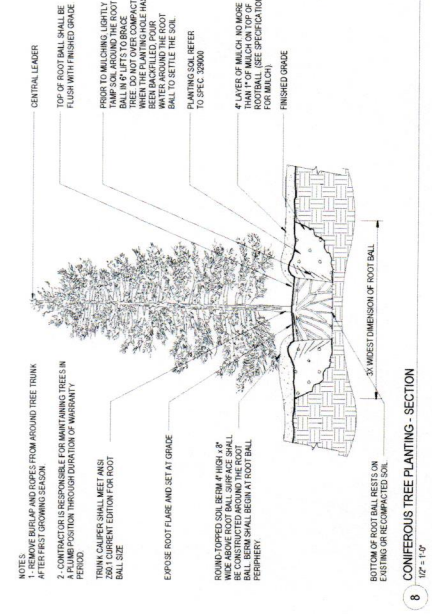
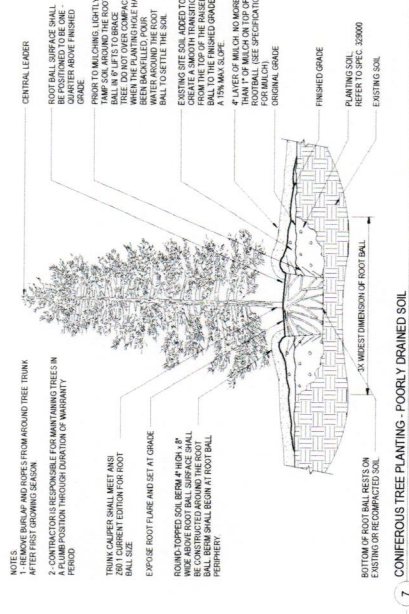
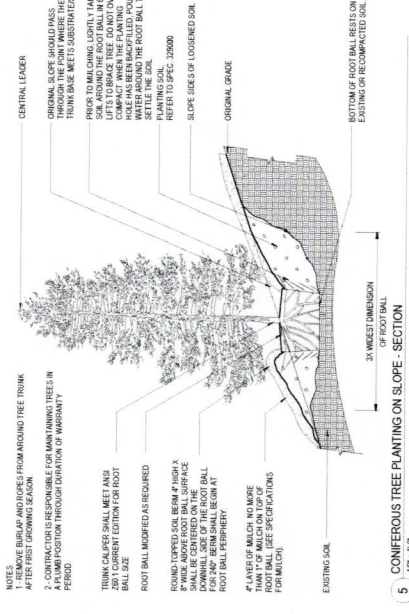
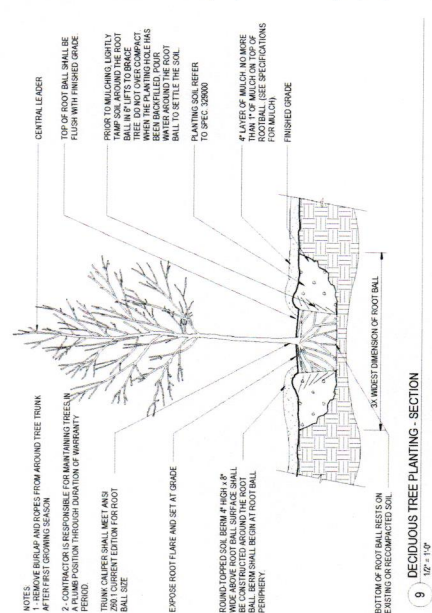
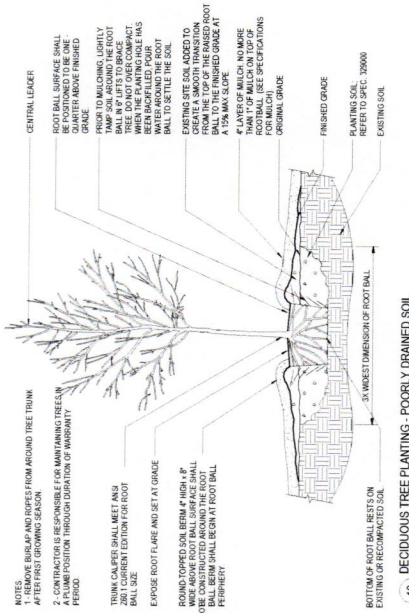
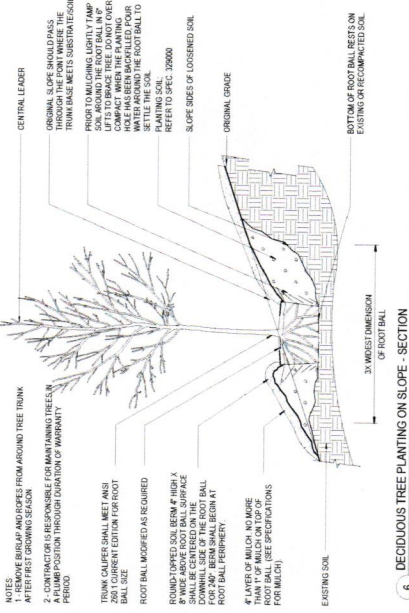
4 TREE PROTECTION: GRADING
3/8" x 1/2"

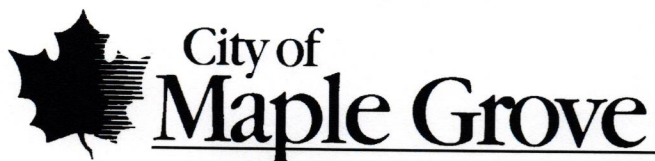
- IF CONSTRUCTION VEHICLES MUST TRAVEL OVER ROOT ZONES, THE
CONTRACTOR SHALL CONSTRUCT ROOT SYSTEM BRIDGES WITH STEEL PLATE SUPPORTED
ON WOOD TIMBERS PLACED RADIAL TO THE TREE TRUNK
OR
2. PLACE A 4" LAYER OF WOOD CHIP MULCH OVER A TYPE II GEOTEXTILE

8 TREE PROTECTION: ROOT ZONES
3/8" x 1/2"

1. WHICH IS LOCATED ON THE PLAN OR IDENTIFIED BY THE LANDSCAPE ARCHITECT
PRIOR TO CONSTRUCTION. ALL TREE ROOTS SHALL BE CLEANLY CUT
BY A VIBRATORY TINE OR OTHER APPROVED ROOT CUTTER
2. THE CUTTING SHALL BE PERFORMED AT THE MAXIMUM DEPTH
3. NECESSARY FOR CONSTRUCTION
4. ROOT ENDS EXPOSED BY EXCAVATION SHALL BE IMMEDIATELY
COVERED WITH 4" LAYER OF ADJACENT SOIL

7 TREE PROTECTION: ROOT CUTTING
3/8" x 1/2"





MEMORANDUM

TO: Boston Scientific

FROM: Brett Angell, Economic Development Manager

DATE: February 23, 2021

SUBJECT: Boston Scientific Building 3 West PUD Development Stage Plan – CED Review

The following comments are based upon review of plans submitted to the City of Maple Grove on February 8, 2021 and on subsequent conversations with the applicant:

1. Applicant shall work with City staff at the time the 2nd floor shell office space is built out regarding potential impacts to traffic and mitigation efforts needed, if applicable.
2. Overall Planting Plan (L400) should include a table further detailing the number of each genus of tree and/or shrub that is to be planted.
3. Applicant shall work with or confirm with staff on specific tree species that are to be planted.
4. Applicant has expressed that the property will be re-platted. A re-plat or lot combination is required for the construction of the proposed building.
5. Additional comments are pending further review.



City of Maple Grove

MEMORANDUM

TO: Boston Scientific

FROM: Engineering Department

DATE: February 22, 2021

SUBJECT: Boston Scientific Building 3 West PUD Development Stage Plan – Engineering Department Review

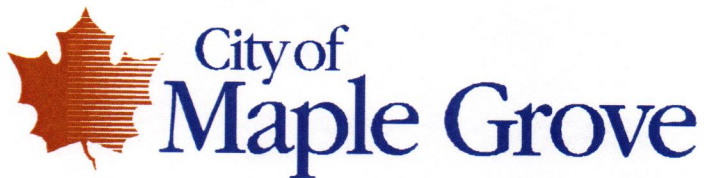
The following comments are based upon review of plans submitted to the City of Maple Grove on February 8, 2021 and on subsequent conversations with the applicant:

Water Resources

1. Plan set is dated 2/8/21
2. A signed copy of the plans is required for approval.
3. Permits and/or reviews required:
 - a. City of Maple Grove grading permit if greater than 50 cubic yards of cut/fill. Grading permit application can be found here.
 - i. Grading Permit fee based on area and quantity of cut/fill is required.
 - ii. Grading Surety based on disturbed area is required. Surety can be cash or letter of credit (LOC). If LOC, please follow the format on the attached example and provide me a draft for review and approval by our City Attorney before finalizing the document.
 - iii. Grading permit fee and surety worksheet can be found here.
 - b. Existing NPDES Construction Activity permit should be modified to include this addition.
 - c. Elm Creek Watershed review – plans and fees have been submitted to the watershed.
4. Rate control accounted for in existing ponding.
5. TSS and P accounted for in existing ponding.
6. Volume control accounted for in existing ponding.

Utilities

1. Existing sanitary sewer is near capacity. Applicant shall be required to work with City staff to ensure proper routing and size of sanitary lines to meet existing and future capacity requirements prior to construction.



12800 Arbor Lakes Parkway, P.O. Box 1180, Maple Grove, MN 55311-6180

FIRE-RESCUE DEPARTMENT

Fire Operations

763-494-6300

763-494-6421 – Fax

Fire Prevention

763-494-6090

763-494-6439-Fax

February 23, 2021

RE: Boston Scientific Building 4

We have reviewed the proposed plans after our meeting and have the following comments:

Fire Department

- a. Opening in the North mechanical screen-wall for access is desired.
 - a. 2 openings/ doors one on east and west end
- b. Roof ladders between roof elevations.
 - a. As needed, with appropriate safety cages if applicable.
- c. Standpipe up to the penthouse with hose connection
 - a. Ensure placed for rooftop operations
- d. Fire truck access, need a 26ft wide access road. Maybe best on the south end
 - a. 24' is currently provided. This along with the proposed drop off area is acceptable
 - b. Maintain 24' food drive isle along west side of building 4, ensure ladder access on main drive isle route
- e. Need to look at access to WL2 with the new parking scheme there is a min/max
 - a. Minimum of 24' width on drive isle in this parking area, preferably 26'
 - b. Provide appropriate turning radius into and out of this area
- f. Add turning radius drawing to the documents set
 - a. Still needed, prove accessibility for fire apparatus throughout parking lot
- g. Hydrants
 - a. Add hydrant SW corner of building 4
 - b. 1 along ring road where feasible

Patrick Farrens Jr

Deputy Fire Chief

Office: 763-494-6091

pfarrens@MapleGroveMN.gov



City of Maple Grove

MEMORANDUM

TO: Boston Scientific

FROM: Arbor Committee

DATE: March 2, 2021

SUBJECT: Boston Scientific Building 3 West PUD Development Stage Plan – Arbor Committee Review

The following comments are based upon review of plans submitted to the City of Maple Grove on February 8, 2021 by the Maple Grove Arbor Committee:

1. Plans are required to be updated to further detail the genus and number of trees proposed by the plan set, per City Code requirements. Specific tree types should be designated on the plans and not exceed 20% of the same tree genus.
2. Since a portion of the site is in a T-Zone, the Arbor Committee is recommending the applicant conduct a complete tree inventory of the property.

STAFF REPORT TO THE PLANNING COMMISSION

March 8, 2021

**Reserve Arbor Lakes Building 4
Planned Unit Development - Development Stage Plan and Final Plat**

Applicant: Doran Family Development, LLC
Evan Doran
7803 Glenroy Road, #100
Bloomington, MN 55439

Owner: Same

Requested Action: PUD development stage plan and final plat approval. The project will be a 164-unit multi-family market-rate apartment building with two levels of parking and a lower level tunnel connection to the first building.

Location: Arbor Lakes Parkway and Village Way
(Outlot A, The Village at Arbor Lake 2nd Addition)

Zoning: PUD, Planned Unit Development

Adjacent Land

Use and Zoning:

North: PUD, Planned Unit Development
East: PUD, Planned Unit Development
South: PUD, Planned Unit Development
West: PUD, Planned Unit Development

Application Received:	February 8, 2021
60 Day Review Deadline:	April 9, 2021

STAFF COMMENTS:

The applicant is requesting a Planned Unit Development (PUD) development stage plan, and final plat for the purpose of constructing the fourth and final building in the Reserve Arbor Lakes apartment development. The building is proposed to have 164 units and 216 bedrooms.

General:

The site is located at the corner of Arbor Lakes Parkway and a private drive (Village Way), at the northern corner of the Reserve site. Access will come from the existing private road system

Staff Report to the Planning Commission
Peter Vickerman, Project Manager- X6046
Reserve Arbor Lakes Building 4
PUD Development Stage Plan and Final Plat
March 8, 2021
Page 2

and serve a surface parking lot as well as access into the first level and underground parking garages.

As noted, this is final phase of the Reserve Arbor Lakes development and will bring the total number of units in the development to 695. The development was originally approved for no more than 700 units.

The unit counts of the four buildings are as follows:

Building 1:	257
Building 2:	123
Building 3:	151
<u>Building 4:</u>	<u>164</u>
Total:	695

Development Stage Plan:

The development stage plan consists of the proposed building, landscaping, parking areas, lighting, and utilities.

Architecture:

The proposed architecture is nearly identical to the first three buildings with the same combination of brick, stone, EIFS, glass, and siding.

A notable change in this building is that the applicant is proposing to add an extra story to provide for a surface level parking garage that would constitute most of the first floor. About 5,700 s.f. of the first floor will also be used for amenity spaces such as an entertainment suite and business center.

All of the apartment units will be on floors 2-5. This change allows for more parking to be provided on the site.

Courtyard:

The proposal includes a landscaped courtyard with a pool, hot tub, fire pits and outdoor grilling stations, similar to the courtyards constructed with the other buildings.

Staff Report to the Planning Commission
Peter Vickerman, Project Manager- X6046
Reserve Arbor Lakes Building 4
PUD Development Stage Plan and Final Plat
March 8, 2021
Page 3

Parking:

The applicant is proposing 188 garage stalls and 114 surface stalls for a total of 302 parking stalls. This equates to a 1.84 stalls per unit ratio and a 1.40 stalls per bedroom ratio, which is higher than what was built in earlier phases.

Landscaping:

The proposed landscaping meets the standards for overstory trees and shows a significant number of shrubs and perennials. The applicant is proposing 49 overstory trees whereas the code requirement is 40 overstory trees. Staff notes that there are some minor modifications to the tree species need but otherwise the landscaping plan looks good.

Miscellaneous:

As with the other buildings, this building will have an underground passageway providing residents year-round climate-controlled access to the clubhouse facility.

Staff Comments:

Staff does have some comments and requests for changes and clarification that are included in memos from various departments. All of these are simple adjustments to make and staff has included these items as conditions of approval.

Final Plat:

The application includes a final plat. Staff finds that the plat applies with all applicable requirements has no issues with it.

Summary:

The applicant is proposing another high-quality apartment building consistent with previous approvals. The development stage plan issues can be resolved between now and the release of the final plat or before issuance of building permits.

STAFF RECOMMENDATION:

Motion to recommend that the City Council direct the City Attorney to draft a Resolution and a Planned Unit Development agreement approving the Reserve Arbor Lakes Building 4 PUD development stage plan and final plat, subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:

Staff Report to the Planning Commission
Peter Vickerman, Project Manager- X6046
Reserve Arbor Lakes Building 4
PUD Development Stage Plan and Final Plat
March 8, 2021
Page 4

- a. The Community & Economic Development Department dated March 3, 2021
- b. The Water Resources Engineer dated February 17, 2021
- c. The Fire Department dated February 12, 2021
- d. The Parks & Recreation Department dated February 16, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

ATTACHMENTS:

Attachment A: Narrative
Attachment B: Location Map
Attachment C: Maps
Attachment D: Elevations and Renderings
Attachment E: Memorandums

THE RESERVE AT ARBOR LAKES - RESIDENCE BUILDING 4

ARBOR LAKES PARKWAY, MAPLE GROVE, MN
PUD DEVELOPMENT STAGE PLAN: FEBRUARY 08, 2021

The site at Arbor Lakes Parkway in Maple Grove is 3.39 Acre parcel of 42.6 Acre concept plan. The site is currently a flat undeveloped parcel of land along the North side of the development. Doran Family Development is proposing to construct the fourth building in the gated community. The project will be a 164-unit multi-family market-rate apartment building with two levels of parking and a lower level tunnel connection to the first building.

The building will have a 2-level concrete masonry podium with 188 heated private tenant parking stalls along with 114 stalls of surface parking. The building will consist of a below grade parking level, at-grade parking level with amenity space, and 4 stories of housing above in wood frame construction. The materials on the building will be a combination of brick, stone, and fiber cement siding, consistent with the existing Buildings 1 - 3.

The interiors of the apartment homes will showcase granite countertops, stainless steel appliances, full size washers and dryers, large closets and private balconies. The spacious, unique apartment homes will offer a variety of housing options with a mix of alcove, one, two and three-bedroom units. As with all Doran Family Developments, the emphasis will be on a safe and secure environment with high resolution security cameras providing a 24-hour monitoring of the entire site.

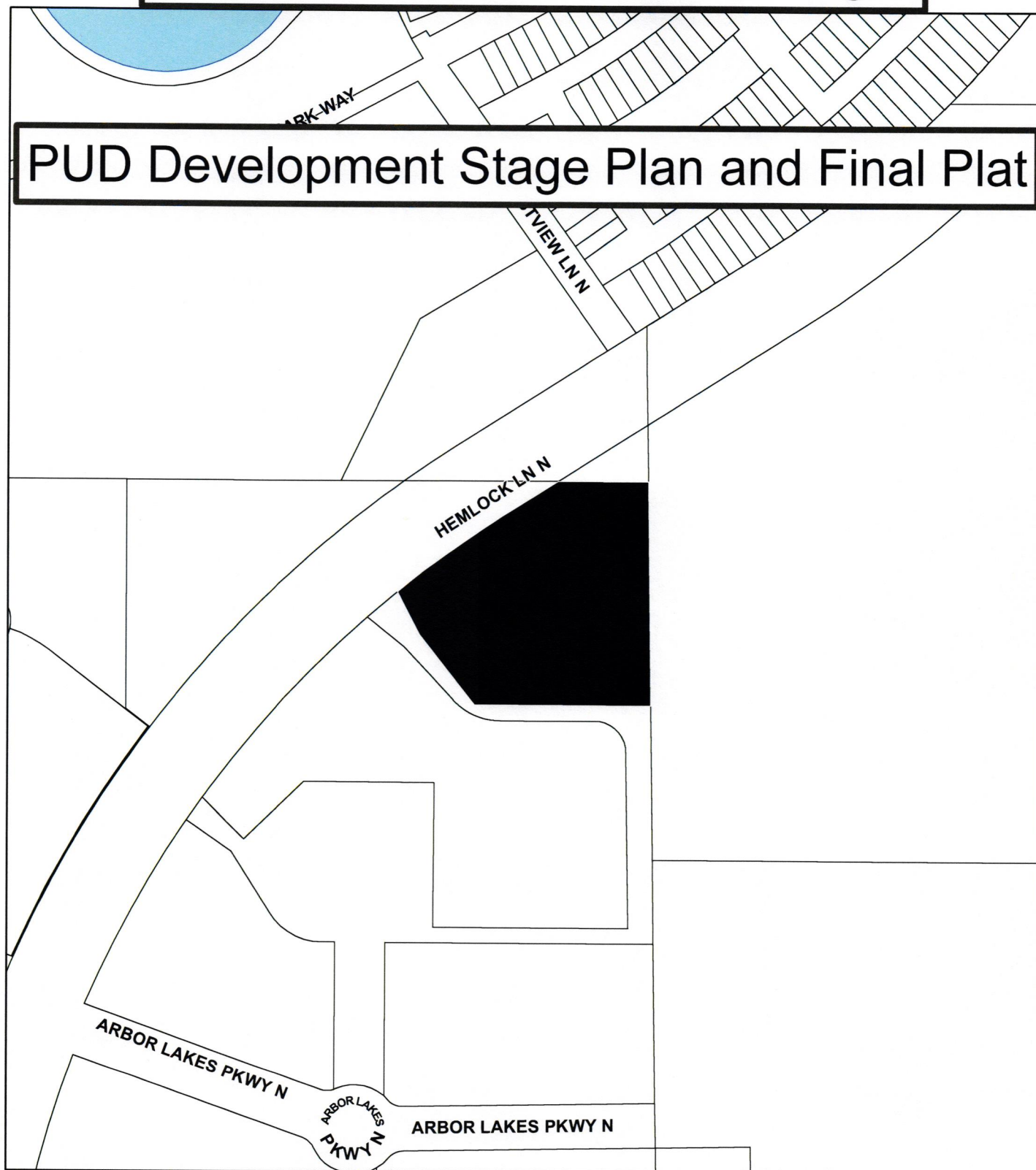
The building will be connected to the existing Building 1 via a lower level tunnel. Building 4 amenities include: an entertainment suite, business center, terrace with outdoor pool, outdoor grilling stations, and fire pit.

The overall site will have extensive landscaping and pedestrian walking paths.

Upon completion, the project with its walkable neighboring retail will fulfill Maple Grove's comprehensive plan goals to bring higher density living communities to its economic core.

Reserve Arbor Lakes Building 4

PUD Development Stage Plan and Final Plat



NEIGHBORHOOD LOCATION MAP



THE RESERVE AT ARBOR LAKES - RESIDENCE BUILDING 4

Attachment C

ARBOR LAKES PARKWAY, MAPLE GROVE, MN
PUD DEVELOPMENT STAGE PLAN: FEBRUARY 08, 2021

Design Narrative

The site at Arbor Lakes Parkway in Maple Grove is 3.39 Acre parcel of 42.6 Acre concept plan. The site is currently a flat undeveloped parcel of land along the North side of the development. Doran Family Development is proposing to construct the fourth building in the development, a 14-story, 160-unit multi-family residential building. The building will be constructed with two levels of parking and a lower level tunnel connection to the first building.

The building will have a 2-level concrete parking podium with 160 heated private tenant parking stalls, along with 114 surface parking stalls. The building will have a lower level parking level, in-grade parking level with amenity space, and 4 stories of housing above in wood frame construction. The materials on the building will be a combination of brick, stone, and fiber cement siding, consistent with the existing buildings 1 - 3.

The interiors of the apartment homes will showcase granite countertops, stainless steel appliances, full size washers and dryers, larger closets and private balconies. The spacious, open-concept living and dining areas will feature hardwood floors, granite countertops, and three-bedroom units. As with all Doran Family Developments, the emphasis will be on a safe and secure environment with high resolution security camera providing a 24-hour monitoring of the entire site.

The building will be connected to the existing Building 1 via a lower level tunnel. Building 4 amenities include an entertainment suite, business center, terrace with outdoor pool, outdoor grilling stations, and the pit.

The overall site will have extensive landscaping and pedestrian walking paths.

Upon completion, the project will be a valuable neighboring retail will fulfill Maple Grove's comprehensive plan goals to bring higher density living communities to its economic core.

Site Map



Project Team

Owner/Developer:
Doran MGR, LLC
12600 Glenview Road, Suite 100
Bloomington, MN 55408
Ph: 612-298-2000

Contractor:
Doran Construction Company, LLC
7000 Glenview Road, Suite 300
Bloomington, MN 55408
Ph: 612-298-2000

Architect:
Doran Architecture, LLC
12600 Glenview Road, Suite 100
Bloomington, MN 55408
Ph: 612-298-2000

Interior Designer:
Doran Interiors, LLC
201 Irving Ave N, Suite 200
Minneapolis, MN 55405
Ph: 612-298-2000

Surgeon:
Sambaak
12600 Glenview Dr, Suite 300
Minnetonka, MN 55343
Ph: 763-476-6010

Civil Engineer:
Sambaak
12600 Glenview Dr, Suite 300
Minnetonka, MN 55343
Ph: 763-476-6010

Landscaping Architect:
Sambaak
12600 Glenview Dr, Suite 300
Minnetonka, MN 55343
Ph: 763-476-6010

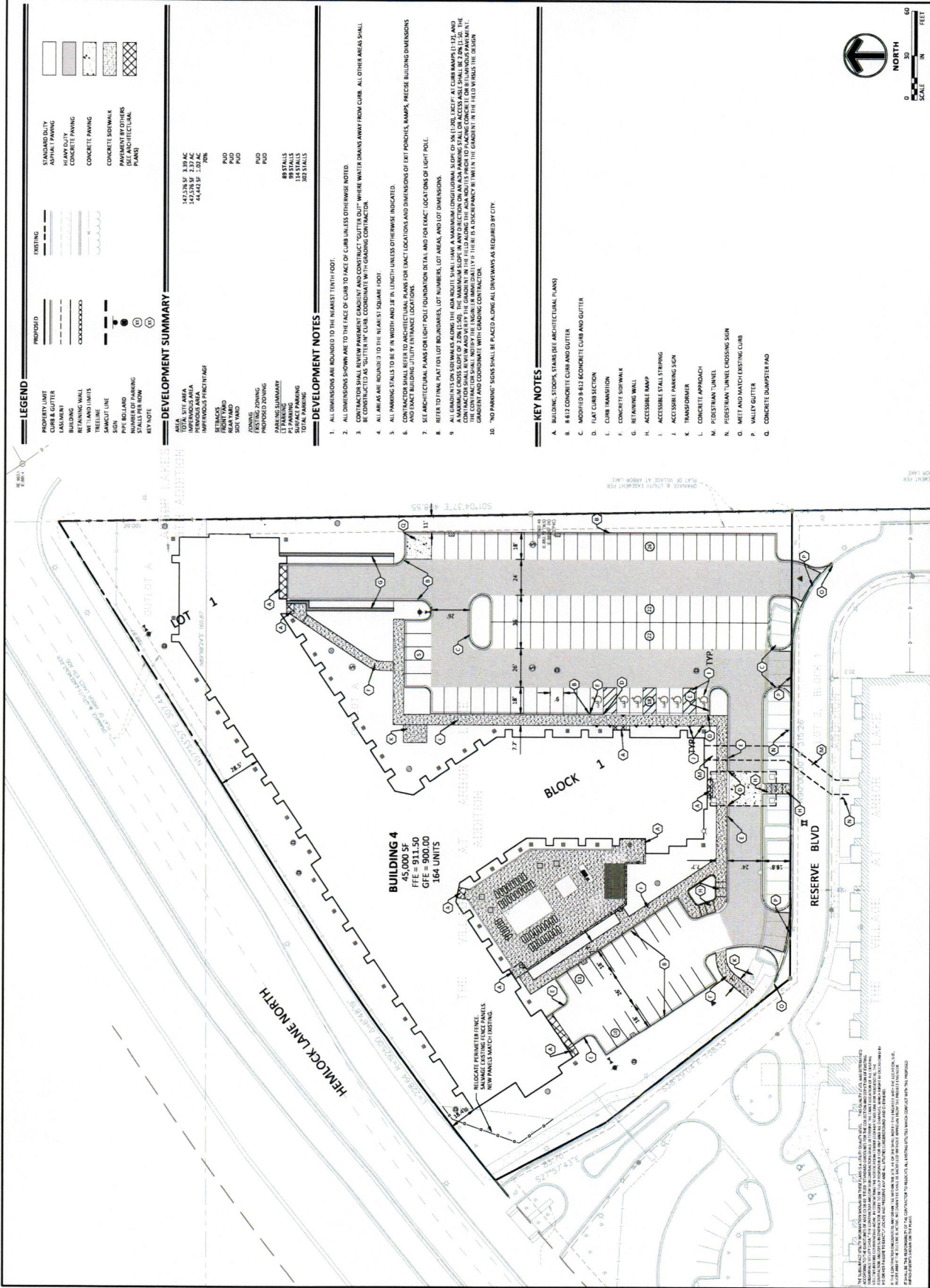
Building Data

Building No. 4				
Location	Level 1	Level 2	Level 3	Level 4
Units	38,331	38,331	38,331	152,824
Amenities	5,769	-	-	5,769
Commons	1,602	5,684	5,684	24,338
Total	7,371	43,915	43,915	183,931

Sheet List

SHEET NUMBER	SHEET NAME		01/5/2022
	General	Detail	
L 1.0	COVER SHEET		
C 1.01	TITLE SHEET		
C 2.01	EXISTING CONDITIONS		
C 3.01	SITE PLAN		
C 4.01	GRADING PLAN		
C 5.01	UTILITY PLAN		
C 6.01	FOUNDATION DETAILS		
C 7.01	CONSTRUCTION DETAILS		
C 8.01	CONSTRUCTION DETAILS		
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C 388.01	CONSTRUCTION DETAILS		





Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

Joshua J. McKinnon
Registration No. 34 Date 02/05/2021
This certificate is not valid unless wet signed in blue

Summary

Approved: EWM
Book / Page:
Phase: PRELIMINARY Initial Issue: 02/05/2021

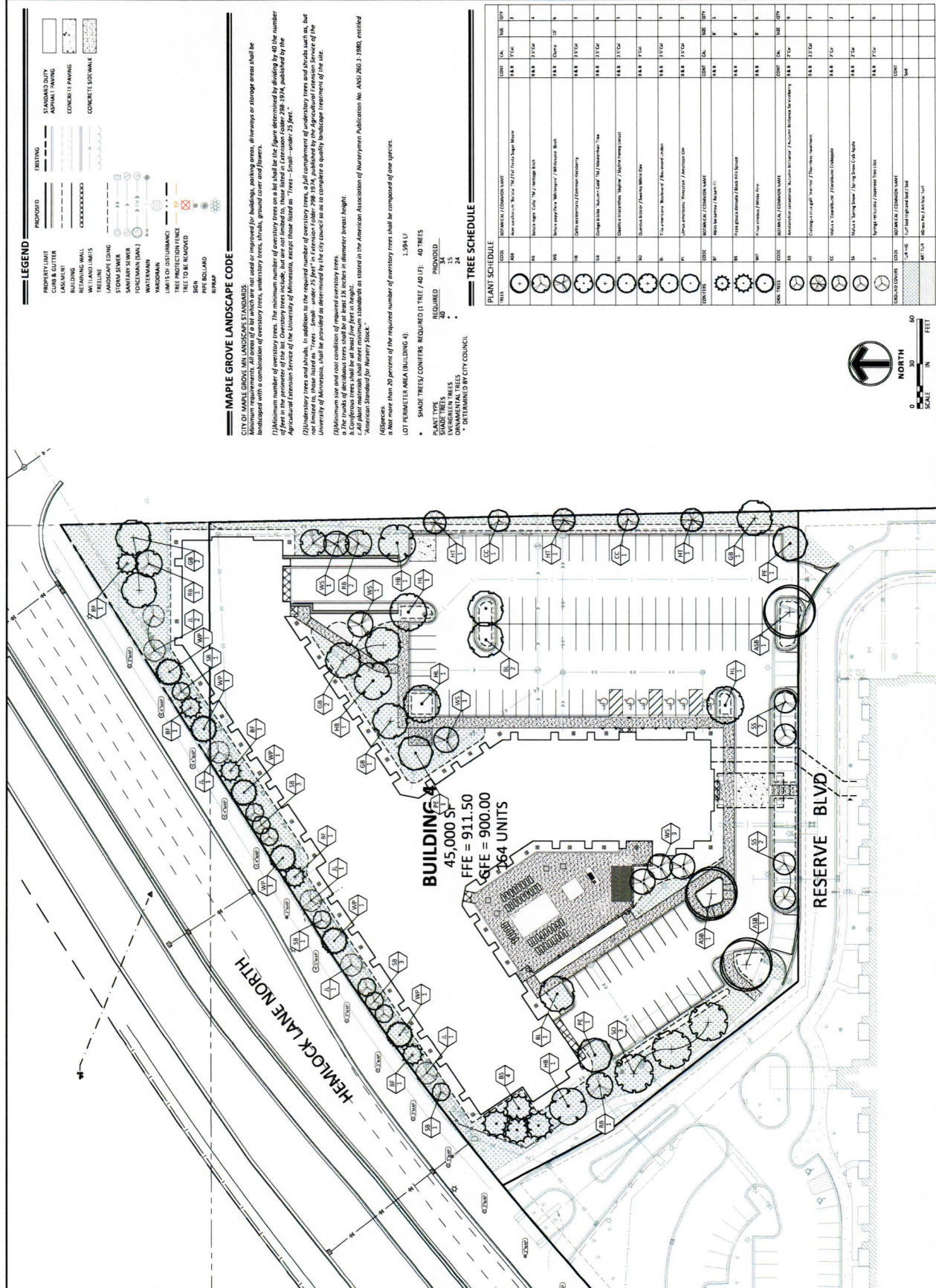
Revision History

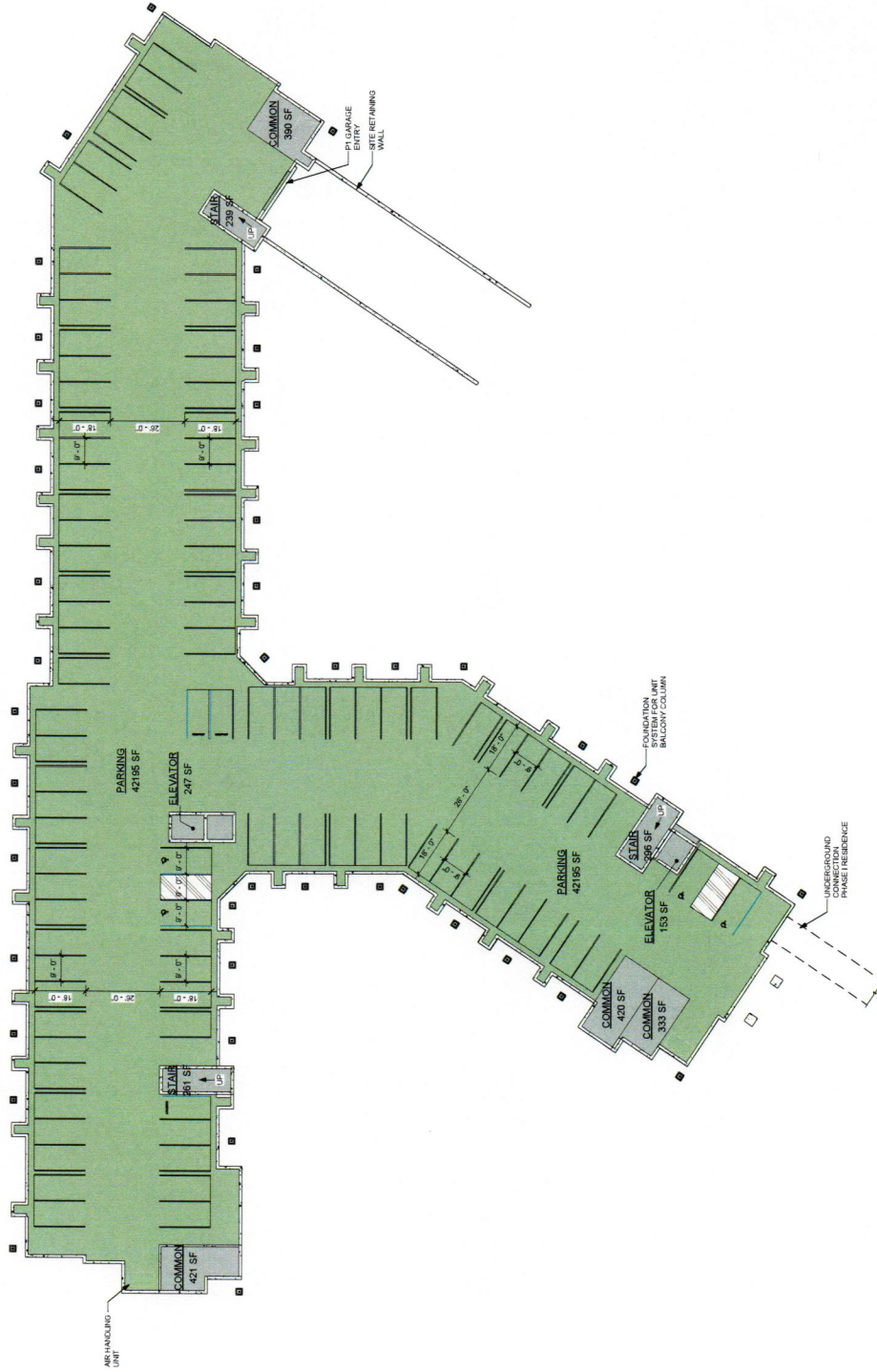
No.	Date	By	Submittal / Revision
3/27/2021	MLL		CLM COMPARING RE-SURF

Sheet Title
**LANDSCAPE
PLAN**

Sheet No. Revision
L1.01

Project No. 20318.28

[illegible]



P1 Parking Schedule		
P1	STALL TYPE	TOTAL
P1	Accessible	4
	Compact	3
	Standard	892
		999



① LEVEL P1
1" = 20'-0"

26/2021 3:37:19 PM

DORAN
ARCHITECTURE

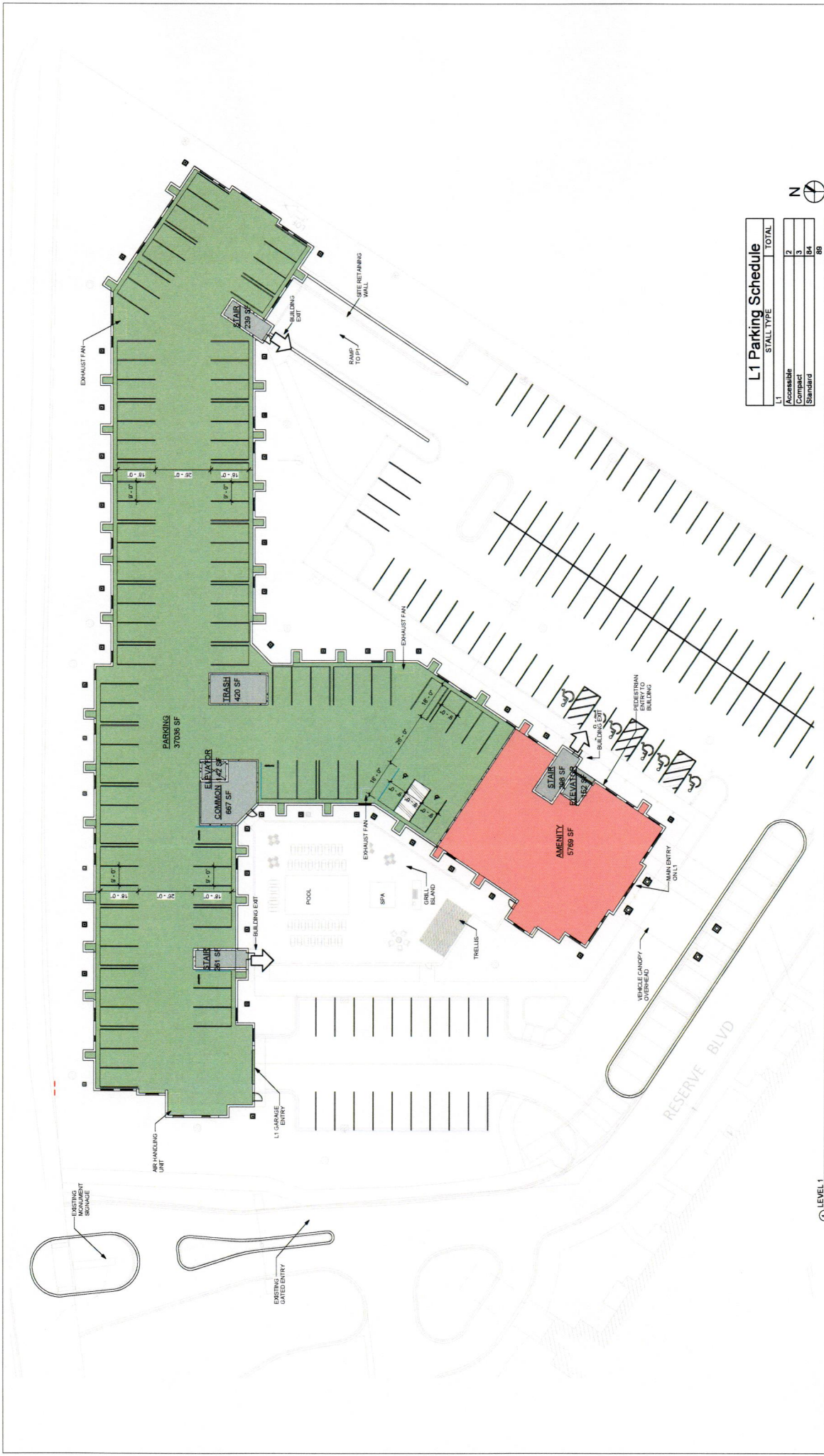
PUD DEVELOPMENT STAGE
02/08/2021

THE RESERVE -
PHASE 4

LEVEL P1 PLAN

A 1.1





L1 Parking Schedule		
L1	STALL TYPE	TOTAL
L1	Accessible	2
	Compact	3
	Standard	164
		169



① LEVEL L1
1" = 20'-0"

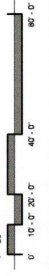
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DORAN
ARCHITECTURE

PUD DEVELOPMENT STAGE
02/08/2021

THE RESERVE -
PHASE 4

LEVEL L1 PLAN



A 1.2



L2 Unit Totals		
L2	UNIT TYPE	TOTAL UNITS
1	1-BED	26
2	2-BED	11
3	3-BED	1
4	ALCOVE	1
		41
		54



LEVEL 2
1" = 20'-0"

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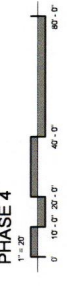
DORAN
ARCHITECTURE

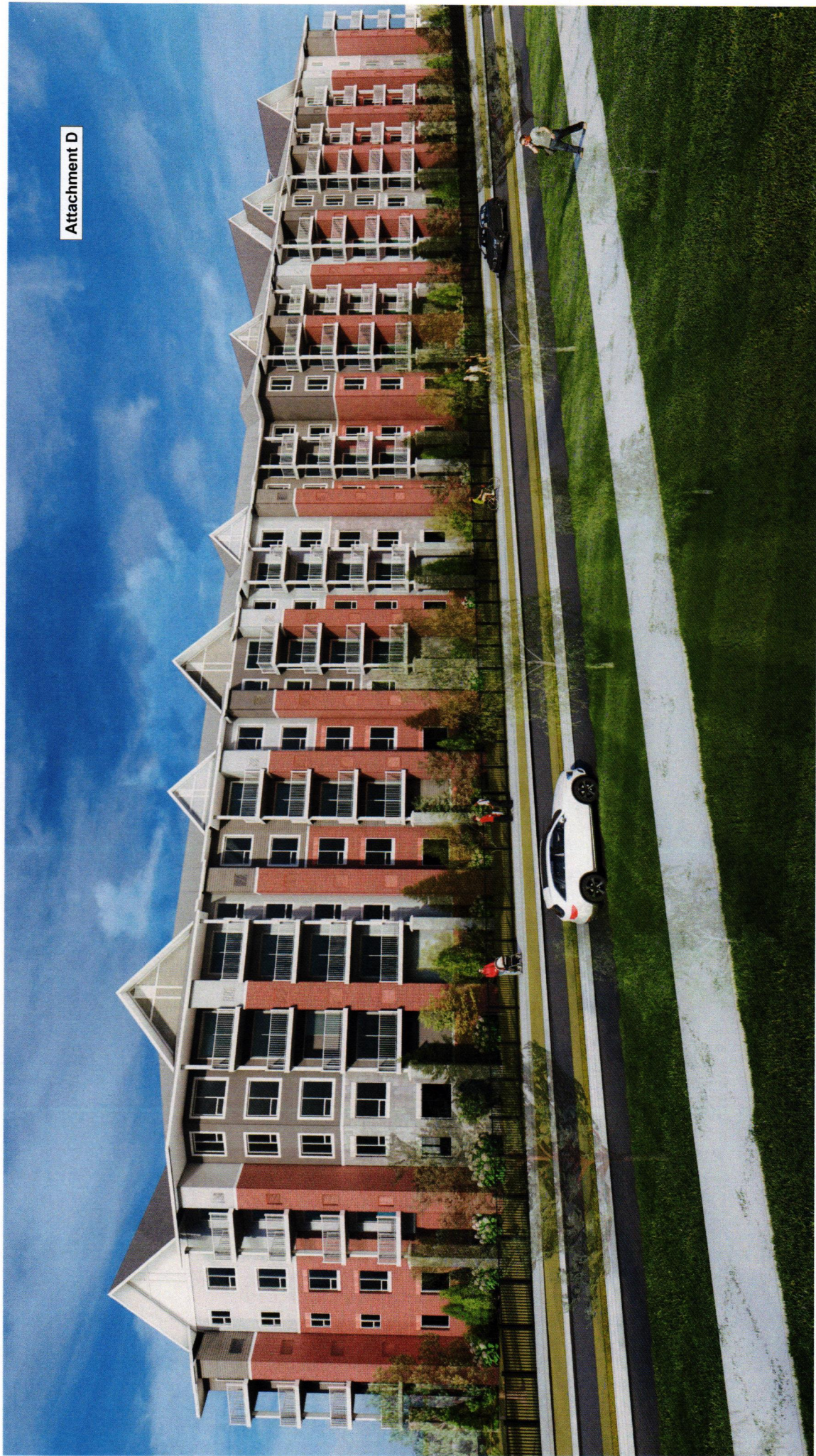
PUD DEVELOPMENT STAGE
02/08/2021

THE RESERVE -
PHASE 4

LEVEL L2 PLAN

A 1.3

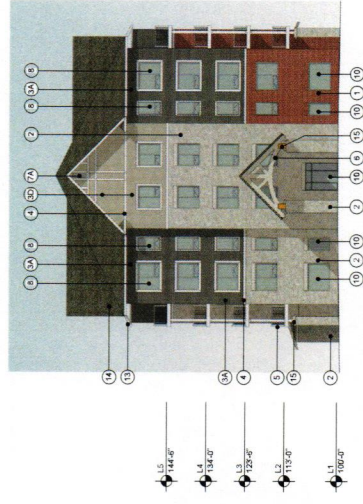




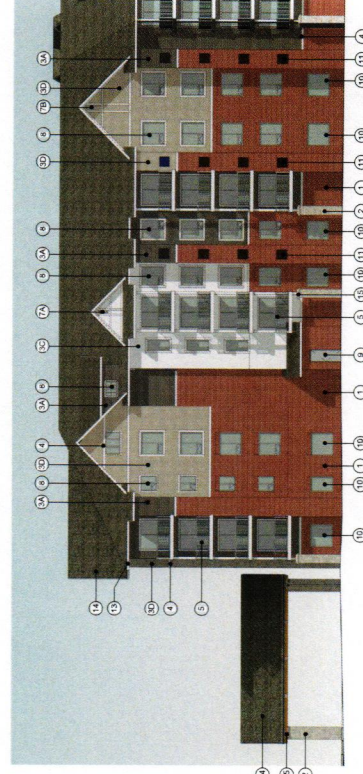
Attachment D

EXTERIOR ELEVATION KEYNOTES

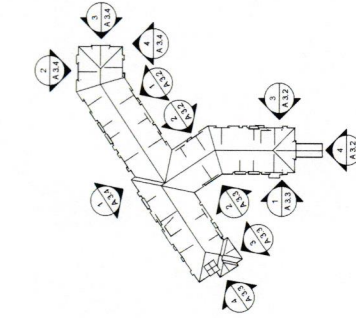
- | | |
|--|--|
| 1 4" VENEER FACE BRICK | 16 FIBER GLASS WINDOW |
| 2 4" VENEER STONE | 17 HOLLOW METAL DOOR FRAME COLOR TO MATCH ADJACENT BUILDING MATERIAL |
| 3 FIBER CEMENT LAP SIDING, COLOR ASHED PEWTER | 18 ALUMINUM STOREFRONT |
| 4 FIBER CEMENT LAP SIDING, COLOR ARCTIC WHITE | 19 FIBER CEMENT LAP SIDING, COLOR ARCTIC WHITE |
| 5 FIBER CEMENT SHAKER SIDING, COLOR ARCTIC WHITE | 20 OVERHEAD SECTIONAL DOOR |
| 6 FIBER CEMENT SHAKER SIDING, COLOR COBBLE STONE | 21 PREFINISHED ALUMINUM PASCIA, GUTTER AND DOWNSPOUTS, COLOR WHITE |
| 7 5/8" PREFINISHED FIBER CEMENT TRIM BOARD, COLOR: ARCTIC WHITE | 22 ASPHALT SHINGLES, COLOR: BLACK |
| 8 PREFINISHED ALUMINUM RAILING, COLOR: GROSS WHITE | 23 PRECAST CONCRETE COLUMN CAP |
| 9 HEAVY TIMBER TRUSS (STAIN & SEAL) W/ T&G STRUCTURAL GLASS INFILL | 24 CAST IN-PLACE CONCRETE RETAINING WALL |
| 10 PREFINISHED ATTIC VENT, 12" W X 8" H, COLOR: WHITE | 25 PREFINISHED METAL FLASHING, COLOR: WHITE |
| 11 PREFINISHED PERGOLA, COLOR: WHITE | 26 PREFINISHED METAL FLASHING, COLOR TO MATCH BRICK |



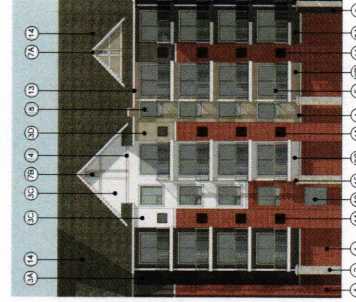
4 SOUTH ELEVATION 2
1/16" = 1'-0"



3 EAST ELEVATION 2
1/16" = 1'-0"



5 ELEVATION KEY PLAN
1" = 100'-0"



2 SOUTHEAST ELEVATION 2
1/16" = 1'-0"



1 SOUTHEAST ELEVATION 1
1/16" = 1'-0"

2/5/2021 3:40:02 PM

DORAN
ARCHITECTURE

PUD DEVELOPMENT STAGE
02/08/2021

THE RESERVE -
PHASE 4

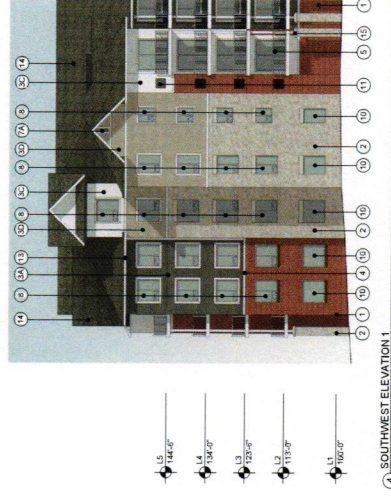


BUILDING
ELEVATIONS

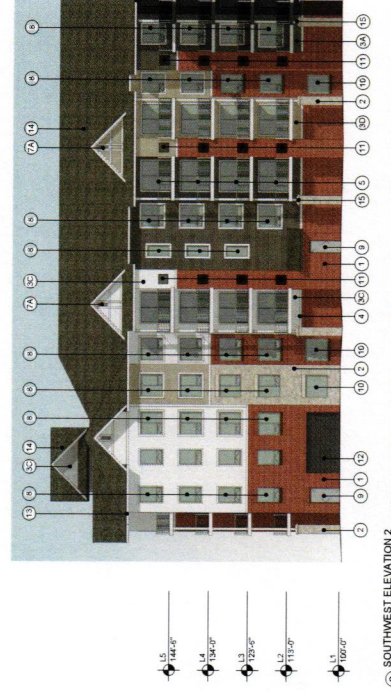
A 3.2

EXTERIOR ELEVATION KEYNOTES

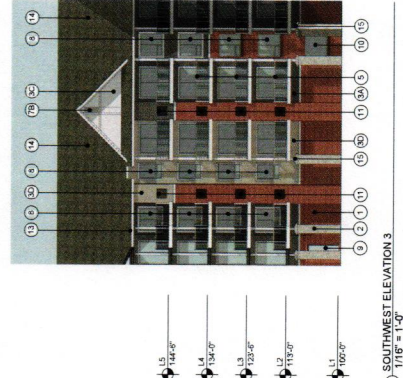
- 1 4" VENEER FACE BRICK
- 2 4" VENEER STONE
- 3 4" VENEER STONE
- 4 4" VENEER STONE
- 5 4" VENEER STONE
- 6 4" VENEER STONE
- 7 4" VENEER STONE
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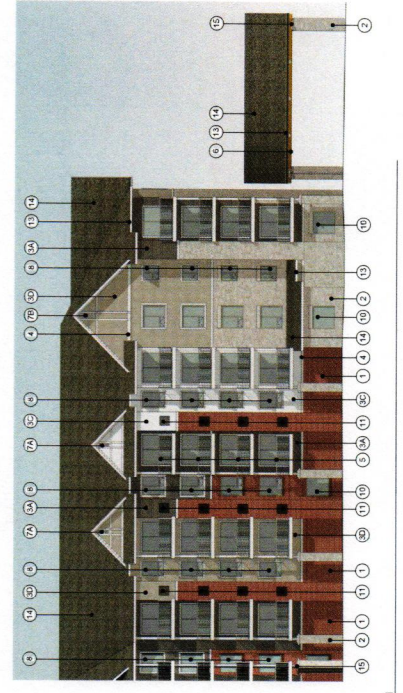
4 SOUTHWEST ELEVATION 1
1/16" = 1'-0"



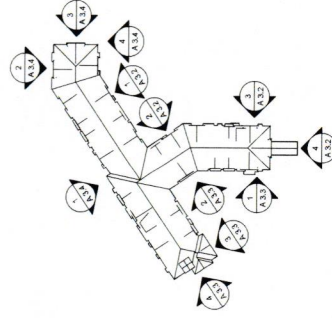
3 SOUTHWEST ELEVATION 2
1/16" = 1'-0"



2 SOUTHWEST ELEVATION 3
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"



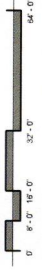
5 ELEVATION KEY PLAN
1" = 100'-0"

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DORAN
ARCHITECTURE

PUD DEVELOPMENT STAGE
02/08/2021

THE RESERVE -
PHASE 4

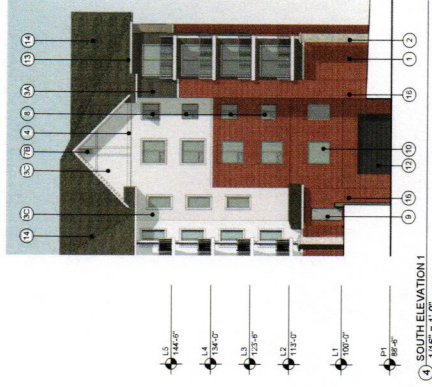


BUILDING
ELEVATIONS

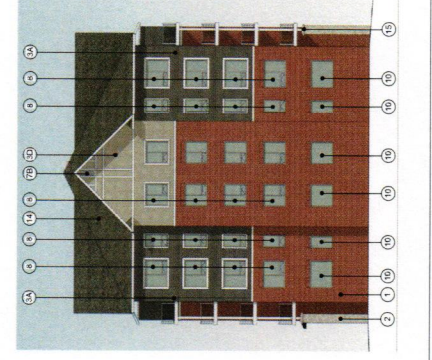
A 3.3

EXTERIOR ELEVATION KEYNOTES

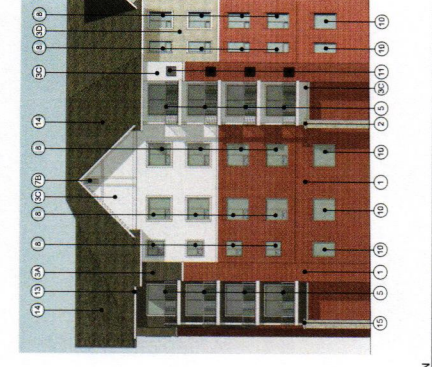
- 1 4" VENEER FACE BRICK
- 2 4" VENEER STONE
- 3 FIBER CEMENT LAP SIDING, COLOR: ARCTIC WHITE
- 4 FIBER CEMENT LAP SIDING, COLOR: ARCTIC WHITE
- 5 FIBER CEMENT SHAKER SIDING, COLOR: ARCTIC WHITE
- 6 FIBER CEMENT SHAKER SIDING, COLOR: CORNELL STONE
- 7 5/4" PREFINISHED FIBER CEMENT TRIM BOARD, COLOR: ARCTIC WHITE
- 8 PREFINISHED ALUMINUM RAILING, COLOR: GROSS WHITE
- 9 HEAVY TIMBER TRUSS (STAIN & SEAL) WITH STRUCTURAL JACK BOLTS
- 10 PREFINISHED ATILE VENT, 12"X18" SP4, COLOR: WHITE
- 11 PREFINISHED PERGOLA, COLOR: WHITE
- 12 PREFINISHED ATILE VENT, 18"X18" SP4, COLOR: WHITE
- 13 FIBER GLASS WINDOW
- 14 HOLLOW METAL DOOR, FRAME COLOR TO MATCH ADJACENT BUILDING MATERIAL
- 15 ALUMINUM STOREFRONT
- 16 MECHANICAL UNIT, GRILL COLOR TO MATCH ADJACENT BUILDING MATERIAL
- 17 OVERHEAD SECTIONAL DOOR
- 18 PREFINISHED ALUMINUM JACK, GUTTER AND DOWNSPOUTS, COLOR: WHITE
- 19 ASPHALT SHINGLES, COLOR: BLACK
- 20 PRECAST CONCRETE COLUMN CAP
- 21 CEMENT-FACE CONCRETE RETAINING WALL
- 22 PREFINISHED METAL FLASHING, COLOR: WHITE
- 23 PREFINISHED METAL FLASHING, COLOR TO MATCH BRICK



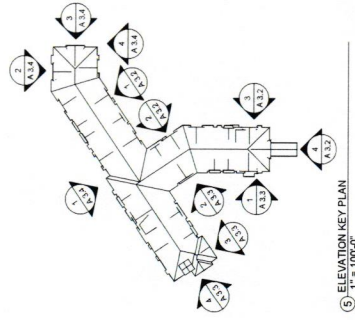
4 SOUTH ELEVATION 1
1/16" = 1'-0"



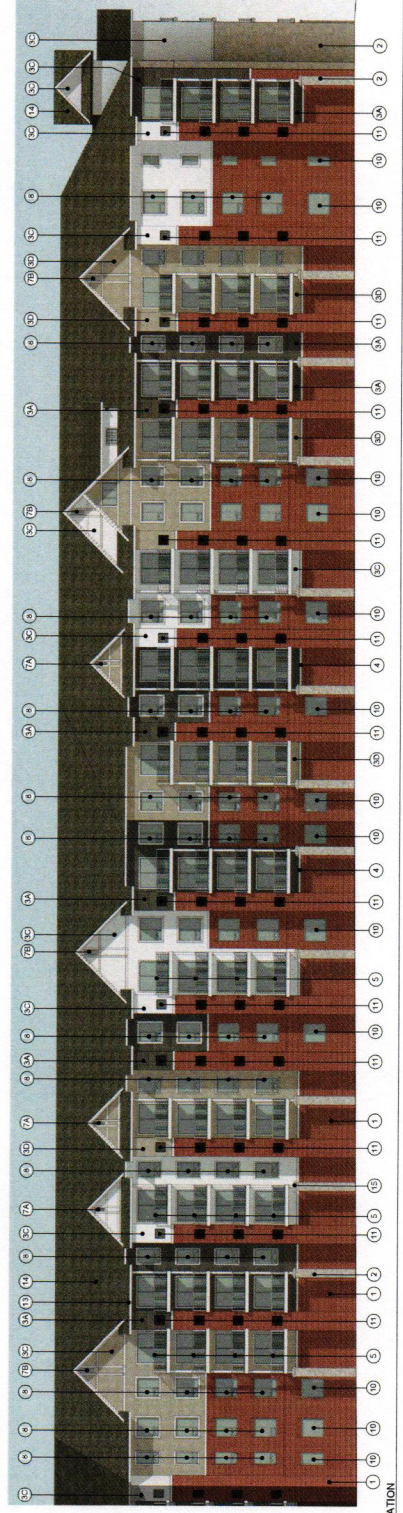
3 EAST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



5 ELEVATION KEY PLAN
1" = 100'-0"



1 NORTHWEST ELEVATION
1/16" = 1'-0"

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DORAN
ARCHITECTURE

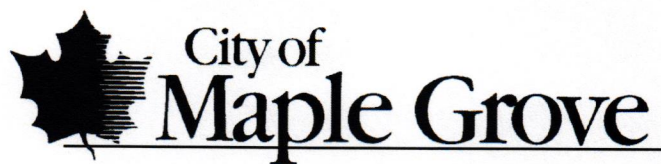
PUD DEVELOPMENT STAGE
02/08/2021

THE RESERVE -
PHASE 4



BUILDING
ELEVATIONS

A 3.4



MEMORANDUM

TO: Reserve Building #4

FROM: Community & Economic Development Department

DATE: February 24, 2021

SUBJECT: CED Staff Comments

Staff has the following comments on the Reserve Building #4 Development Stage Plan

1. The elevations shall be updated to reflect the material pattern shown in the rendering.
2. Regarding the proposed landscape plan, staff has the following comments:
 - a. The maximum number of trees of any one genus is 10 (20% of 49). Please reduce the number of birch trees to no more than 10.
 - b. Please label the various tree species on the landscape plan.

From: [Derek Asche](#)
To: [Peter Vickerman](#)
Cc: [Jupe Hale](#); [Jay Murzyn](#); [John Hagen](#); [Kelly Matzke](#); [Derek Asche](#)
Subject: Water Resources Review - Reserve at Arbor Lakes Building 4
Date: Wednesday, February 17, 2021 11:12:51 AM
Attachments: [Letter of Credit Template 100218.pdf](#)
[image002.jpg](#)
[Stormwater BMP Maintenance Declaration template.docx](#)
[Construction Activity Site Inspection Checklist.xlsx](#)

All, please see my comments below on the Reserve at Arbor Lakes Building 4 submittal:

1. Plan set is dated 2/5/21
2. A signed copy of the plans is required for approval.
3. Permits and/or reviews required:
 - a. City of Maple Grove grading permit if greater than 50 cubic yards of cut/fill. Grading permit application can be found [here](#).
 - i. Grading Permit fee based on area and quantity of cut/fill is required.
 - ii. Grading Surety based on disturbed area is required. Surety can be cash or letter of credit (LOC). If LOC, please follow the format on the attached example and provide me a draft for review and approval by our City Attorney before finalizing the document.
 - iii. Grading permit fee and surety worksheet can be found [here](#).
 - b. NPDES Construction Activity permit
 - c. Retaining walls greater than 4' require a building permit.
 - d. A right-of-way permit may be required for work in the right-of-way. Contact Kelly Matzke at 763.494.6365
 - e. A utility permit may be required for watermain, sanitary, or storm sewer. Contact the Building Division at 763.494.6060
4. Rate control is provided regionally.
5. Water Quality is provided regionally.
6. Volume control is provided regionally.
7. Add SWPPP to plans.
8. Sheet C4.01 – Grading & Erosion Control
 - a. Existing storm sewer is shown on plans. Call out for removal if that is the case.
9. Sheet C6.01
 - a. Provide existing storm sewer information (inverts, pipe sizes, etc..) down stream of STMH 101
 - b. Provide new manhole downstream of STMH 101. Eliminate reverse flow from Hemlock Lane.
 - c. Provide existing storm sewer information (inverts, pipes sizes, etc...) down stream of STMH 201 to CB in Reserve Blvd.

Derek Asche

Water Resources Engineer
763-494-6354
dasche@maplegrovern.gov



12800 Arbor Lakes Parkway, P.O. Box 1180, Maple Grove, MN 55311-6180

FIRE-RESCUE DEPARTMENT

Fire Operations

763-494-6300

763-494-6421 – Fax

Fire Prevention

763-494-6090

763-494-6439-Fax

February 12, 2021

RE: Reserve Building 4 Site Plan Review

We have reviewed the proposed concept plans for Reserve Building 4 and have the following comments:

1. Fire Apparatus Access Roads: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility or any portion of the exterior wall of the first story of the building as measured by an approved route around the exterior of the building.

Comments:

- *When access roads cannot be installed due to topography, waterways, nonnegotiable grades or other similar conditions, the chief is authorized to require additional fire protection as specified in the 2015 MSFC, Section 503.*
2. Design: Fire apparatus roads shall be designed with a 20 foot width and maintained to support the imposed loads of fire apparatus (77,000 lb. gross weight) and shall be provided with a surface to provide all-weather driving capabilities. Longitudinal grade shall not exceed 6 percent or lateral grade shall not exceed 2 percent. Both grades shall not be used together. Fire apparatus access roads shall be a minimum of 30 feet and a maximum of 80 feet from buildings and shall be positioned parallel to the side of the building. A 20-foot inside and a 40-foot outside turning radius shall be provided for fire apparatus access and approved turnarounds. Maple Grove City Code, Chapter 18, Article III, Policy FPB-4

Comments:

- *Appears to meet.*
3. Combination Water Service Lines: In buildings where a high water usage is likely or when the maximum size of domestic water on combination fire sprinkler / domestic water line in the building exceeds 1/4 size of the water supply line, an electric solenoid valve shall be installed on

the domestic side of the service, including the lawn sprinkler system. This valve shall be normally powered open and shall close on loss of electric power or signal from the automatic fire sprinkler system water flow indicator. Maple Grove City Code, Chapter 18, Article III, Fire Prevention Code, FPB-Policy 3.

- a. e.g. 6" combination service – 1 ½ inch domestic maximum

Comments:

- *Separate lines are shown.*

4. Fire sprinkler water mains shall be brought into a one-hour fire resistive room and shall have direct exterior access, a drain, an emergency light pack, and a sidewalk to the public way.
 - a. If an undue hardship exists in meeting these requirements, a letter on company letterhead may be sent explaining the hard ship in detail and requesting one the following alternates shall be sent to the fire department to the attention of the deputy fire chief, fire prevention.
 - i. A yard post indicator valve must be downstream from the domestic (at the point where the domestic and fire split, on the fire side) or provide a separate fire main. A gate valve shall be installed on the domestic side.
 - ii. A wall post indicator valve.

Yard post indicator valves and wall post indicator valves must meet requirements of NFPA 24. Yard post indicator valves shall be located not less than 40 feet from the building. Exception: When post indicator valves cannot be placed at this distance, they shall be permitted to be located closer, or wall post indicator valves used, provided they are in locations by blank walls or located diagonally at a corner of the building where the possibility of injury by falling walls is unlikely. Installation shall be in accordance with NFPA 24. Maple Grove City Code, Chapter 18, Article III, Fire Prevention Code, FPB-Policy 3.

Comments:

- *Please identify the location of the sprinkler riser room.*
- *The location of the fire department connection must be approved by Fire Inspections.*

5. Water supplies for fire protection: Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 150 feet from a hydrant on a fire apparatus road, as measured by an approved route around the exterior of the facility or building, on site fire hydrants and mains shall be provided where required by the code official. Maple Grove City Code, Chapter 18, Article III, Fire Prevention Code, FPB-Policy 3.

Comments:

- *The number and/or spacing of hydrants shown does not meet the requirements of MSFC Appendix C as adopted by Maple Grove City Code, Chapter 18 Article III, Fire Prevention Code.*
- *Provide two additional hydrants along Hemlock Lane, one at the entrance southwest of the building and one near the northeast corner of the building.*

6. Location of Fire Hydrants and General Requirements: Hydrants shall be located within a reasonable distance from driving surface; five feet minimum from curb (fire department access). If hydrant is located in a safety island and cannot be located back five (5) feet from the curb, the hydrant shall be centered in the safety island. It is the fire department's preference to locate a fire hydrant along the driveway entrance, unless only one fire hydrant is being installed and needs to be located closer to the fire department connection.

- a. A fire hydrant shall be located within 100 feet of the fire department connection. FPB-3.
- b. Hydrants and valves shall not be located closer than 40 feet from the building. NFPA 24.
- c. If hydrants are located in front of parking spaces or roadways, a fire lane will be designated in front measuring 10 feet in each direction. MSFC, Section 503.3; Maple Grove City Code, Chapter 18, Article III, Policy FPB-1
- d. Fire hydrants and other fire protection equipment must not be obstructed or the view of the equipment blocked. ***A minimum clearance of five (5) feet shall be provided and maintained around fire hydrants and other fire protection equipment.*** The full-anticipated growth of the trees and shrubs must be considered when planting. Any landscaping planted should be placed so it will meet the future clearance requirements at maturity. Maple Grove City Code, Chapter 18, Article III, Fire Prevention Code.
- e. Hydrants, gate valves, and valve boxes, etc., and their installation shall be in accordance with City of Maple Grove specifications.

Comments:

- *Appears to meet.*

Please feel free to contact me or we can meet in person if you have any questions or need any clarifications.

Sincerely,

Bill Beumer
Fire Inspector
763-494-6095
bbeumer@maplegrovern.gov



MEMORANDUM

TO: Peter Vickerman – Planning Manager

FROM: Ben Jaszewski – Superintendent of Parks and Planning

DATE: February 16, 2021

SUBJECT: The Village at Arbor Lakes 14th Addition (The Reserve at Arbor Lakes - Building 4) – PUD Development Stage, Preliminary Plat and Final Plat

After reviewing the above-mentioned submittal, the Park & Recreation Board staff has the following comments:

- The Park Dedication ordinance applies to this subdivision which requires a land dedication or a cash equivalent per unit based on the current rate.
- The Park Dedication obligation for the proposed subdivision would be a cash dedication based on the 2021 Residential Multi - Dwelling rate of \$3,466 per unit. Fees will apply to all units.
- This PUD consists of a 164-unit multi-family development, based on the proposed 164 units the park dedication would calculate as follows:

$$164 \text{ units} \times \$3,466/\text{unit} = \$568,424$$

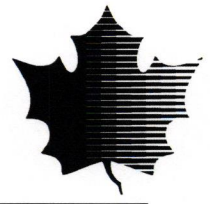
- The Reserve Arbor Lakes Building 4 is located within the city's Park Service Area 24. Residents of this subdivision are currently served by the Central Park and Town Green complex located just west of the proposed subdivision in Park Service Area 23. Future park development is anticipated in PSA 24 as further development of the area occurs.

General

- *The recommendations above are that of the Parks and Recreation staff. Park dedication requirements are acted on by the Parks and Recreation Board at their regularly scheduled monthly meetings and forwarded on to the City Council for final approval.*
- *Applicants may pay the park dedication fee at any time after the final plat has been approved by the City Council and Park Board but it must be paid before the plat is released by the City for filing.*
- *Park dedication rates are reviewed annually in February by the City Council. The rate is applied at the time the plat is released to the County for filing.*

Miscellaneous

**CITY OF MAPLE GROVE
PLANNING COMMISSION AGENDA
MARCH 29, 2021
7:00 P.M.**



Due to the COVID-19 pandemic, the Maple Grove Planning Commission is transitioning to an online format for planning commission meetings. Appropriate City of Maple Grove staff and the City Attorney will also be attending online.

For items with a public hearing, comments may be submitted online at <https://forms.maplegrovern.gov/Forms/public-comment> and will be read during the public hearing.

If you desire to speak at the meeting contact Community & Economic Development at 763-494-6040.

1. OPENING BUSINESS

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call

2. ADDITIONS OR DELETIONS TO AGENDA

Any Commissioner who wishes to delete item(s) from the Consent Agenda or add item(s) to the agenda shall move that at this time.

3. CONSENT ITEMS – All matters listed under Consent Items are considered to be routine by the Planning Commission and will be enacted by one motion and in the form listed below. There may be an explanation, but no separate discussion on these items. If discussion is desired, that item will be removed from the Consent Items and will be considered separately.

- A. Minutes - Regular Meeting – March 8, 2021

4. CONSIDERATION OF ITEMS PULLED FROM THE AGENDA

5. UPDATE ON CITY COUNCIL MEETING

6. OLD BUSINESS

No items to present.

7. NEW BUSINESS

- A. **The Grove 15715 Grove Circle**
TLH Holdings
PUD development stage plan to construct an approximately 5, 937 s.f. medical office building.
Assigned to Jesse Corrow.
- B. **Shake Shack**
Prisa Arbor Lakes, LLC

12459 Elm Creek Boulevard North
PUD development stage plan amendment to construct a stand-alone 3,200 s.f.
restaurant to include a drive-thru.
Received 02/22/2021, Joe Hogeboom.

- PH C. **Palisades at Nottingham 3rd Addition**
Palisades at Nottingham Development, LLC
7310 Zanzibar Lane North
PUD concept stage plan, development stage plan and rezoning to construct 7
detached single-family homes.
Assigned to Peter Vickerman.

8. **ADJOURNMENT** – All items acted on by the Planning Commission will be
forwarded to the City Council for action at their next regularly scheduled meeting.